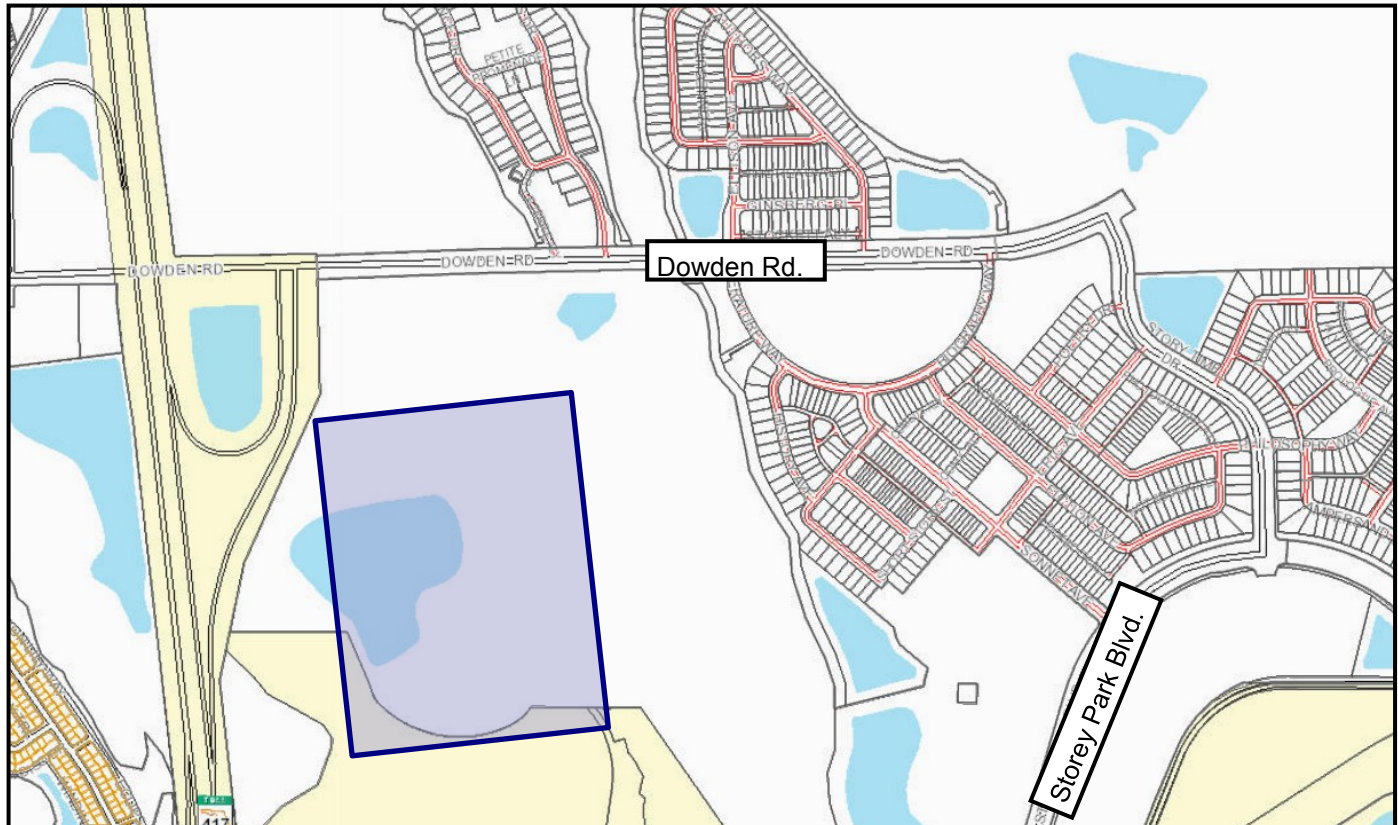



## URBON AT NONA



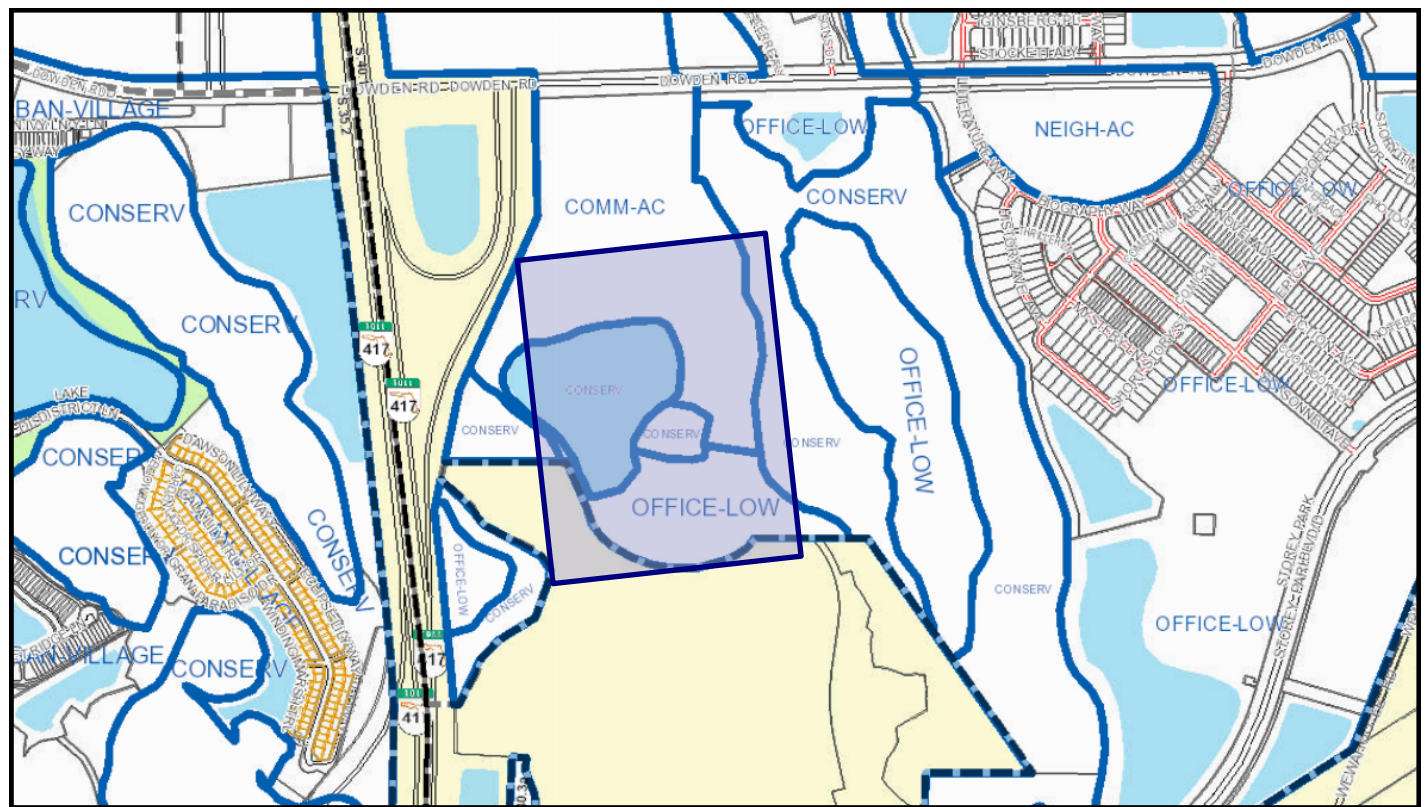
**Location Map**

 Subject Site

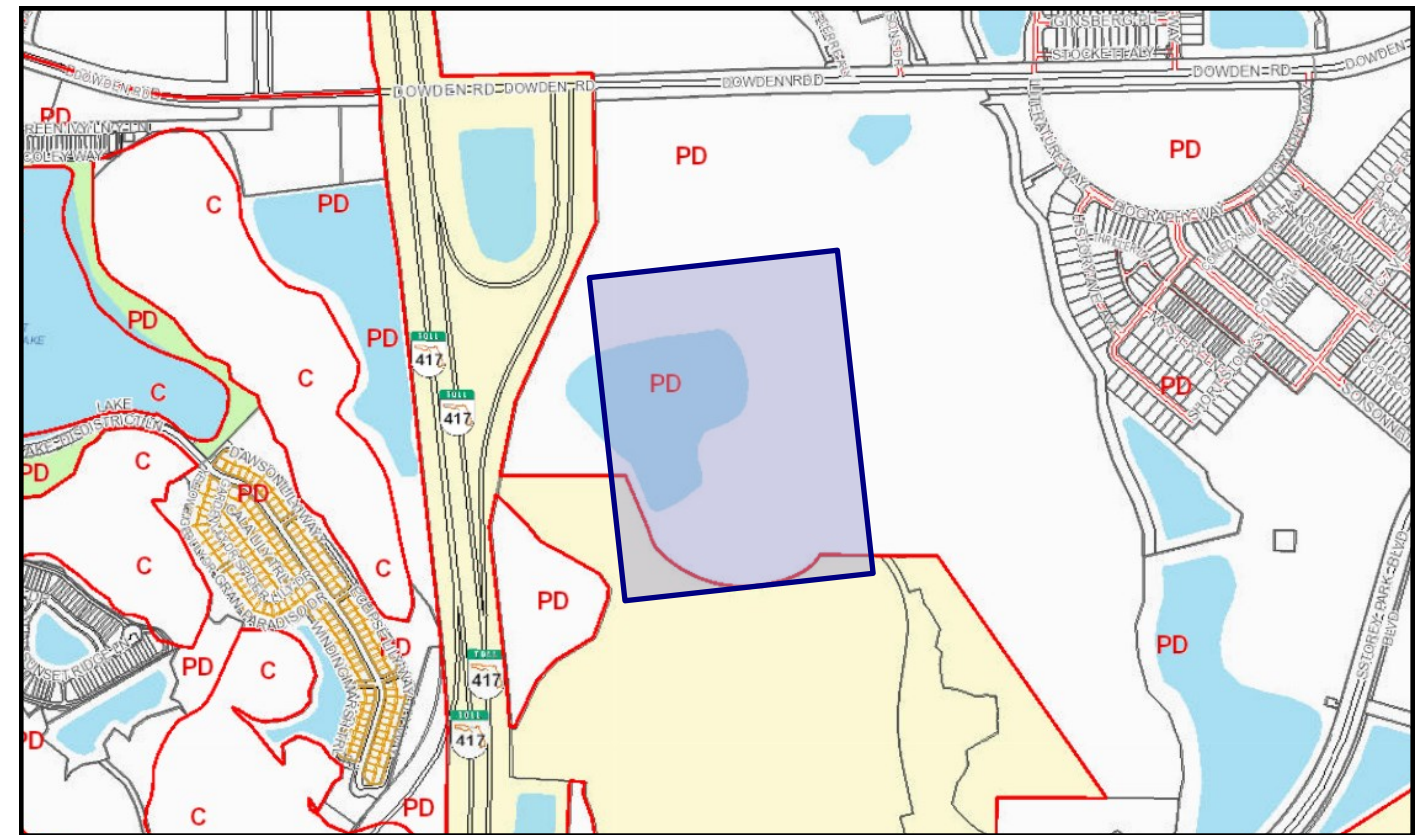
### SUMMARY

<p><b>Owner</b> Moss Park Properties</p> <p><b>Applicant</b> Pablo Lopez, Brookstone Nona</p> <p><b>Project Planner</b> Michaëlle Petion, AICP</p> <p><b>Updated:</b> June 10, 2019</p>	<p><b>Property Location:</b> 12501 Wewahootee Rd. (southeast corner of SR 417 and Dowden Rd.) (±48.78 acres, District 1)</p> <p><b>Applicant's Request:</b> The applicant is requesting Master Plan approval for a Specific Parcel Master Plan (SPMP) for 360 unit multifamily development on parcels C &amp; D of the Wewahootee PD. Building types include 2, 3 &amp; 4-stories in height. A 15% height modification is requested in the Office-Low Future Land Use designation to allow a building height of 40 ft. where 35 ft. is the maximum permitted.</p>	<p><b>Staff's Recommendation:</b> Approval of the request, subject to the conditions in this report.</p> <p><b>Public Comment</b> Courtesy notices were mailed to property owners within 300 ft. of the subject property during the week of June 3, 2019. As of the published date of this report, staff has received no comments from the public concerning this request.</p>
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# Future Land Use Map



# Zoning Map



# Project Analysis

## Project Description

The ±48 acre subject property is located south of Dowden Rd., north of Moss Park Rd. and east of Central Florida Greenway (SR417) and is within the larger ±1266 acre Planned Development referred to as Wewahootee. The applicant is requesting a Specific Parcel Master Plan for a 360 unit multifamily development on parcel D and a portion of parcel C of the Wewahootee PD. Buildings types include 2, 3 & 4-stories in height. A 15% height modification is requested in the Office-Low Future Land Use designation to allow a building height of 40 ft. where 35 ft. is the maximum permitted.

The site has a Future Land Use designation of Office Low Intensity, Commercial Activity Center and Conservation and a zoning designation of PD (Planned Development). The proposal is consistent with the Zoning and Future Land Use designations.

## Previous Actions:

- November 2013– City Council annexed the subject property. (ANX2013-00004, Doc. # 1311251202)
- December 2013– City Council approved the assigning of the Office Low Intensity, Neighborhood Activity Center, Community Activity Center and Conservation future land use designations and Planned Development zoning designation and the creation of Subarea Policy S.40.1. (GMP2013-00010, GMP2013-00011, Doc. # 1312161201, ZON2013-00015, Doc. # 1312161202) The PD ordinance includes land use approval for 627,000 sq. ft. of office, 713,845 sq. ft. of retail, 2,752 dwelling units and civic uses.

## Project Context

The subject parcel is currently undeveloped. Surrounding uses, zoning, and future land uses are shown in Table 1 below. The majority of surrounding properties are within the Wewahootee PD. The parcel adjacent to the southern boundary is within unincorporated Orange County and has been approved for 122 single-family residences. All of the surrounding property is vacant.

Table 1—Project Context			
	Future Land Use	Zoning	Surrounding Use
North	Commercial Activity Center	PD (Wewahootee)	Vacant Land
East	Conservation	PD (Wewahootee)	Wetlands
South	Rural/Agricultural (Orange County)	PD (Orange County)	Vacant Land
West	N/A	N/A	Central Florida Greenway (SR 417)

## Conformance with the GMP

As indicated in Figure LU-1 of the Future Land Use Element, residential uses are allowed under the Office Low Intensity and Commercial Activity Center future land use designations. The maximum density in the Office Low designation is 21 du/ac and it has no minimum density. The minimum and maximum density in the Commercial Activity designation is 20 to 40 du/ac. Of the 48.78 acres subject site, 10.66 acres are designated Commercial Activity and 8.57 acres are Office Low, with the remainder of the site as ROW to be dedicated, wetlands, wetland buffers and lake area. Proposed is a density of 20.07 du/ac and 17.04 du/ac in the Commercial Activity and Office Low designations, respectively. Future Land Use Subarea Policy S.40.1, which affects the Wewahootee development, addresses the maximum development program, planning principles and SPMP requirements.

The proposed development is consistent with the associated future land use and subarea policy.

## Conformance with the LDC

The development site has an existing zoning designation of PD. The PD process is intended to facilitate unique, individually planned developments which are not otherwise permitted. The standards and procedures of this district are intended to promote flexibility of design and permit planned diversification and integration of uses and structures, while at the

same time retaining in the City Council the absolute authority to establish such limitations and regulations as it deems necessary to protect the public health, safety and general welfare. The Wewahootee PD, at build-out, is anticipated to be comprised of 2,752 residential units, 627,000 sq. ft. of office and 713,845 sq. ft. of retail.

Development Standards:

Per the development having a density greater than 12 du/ac, the underlying zoning defaults to the associated FLU category (O-1 in Office-Low and AC-1 in Commercial Activity Center).

The PD requires 0.0015 acres of neighborhood park space (0.54 ac) and 0.0026 acres of community park (0.94 ac). Proposed is 0.66 acres of neighborhood park along the southern portion of the site and 1.18 acres of community park to the northwest. The community park will be built, in its entirety, with this residential development though half of the tract is with the boundary of the future development tract.

**Transportation**

The Wewahootee PD requires a point of connection to the south and a minimum of two connection points to Dowden Rd to the north. Proposed is a 67 ft. wide ROW road to be dedicated to the City. It will align and match with the ROW recently approved in Orange County to the south. The second required connection point to Dowden Rd. will come with the future development on tract A. The project requires a minimum of 599 parking spaces. Proposed is 714 spaces to include 87 parallel spaces on the primary road.

**School Impact**

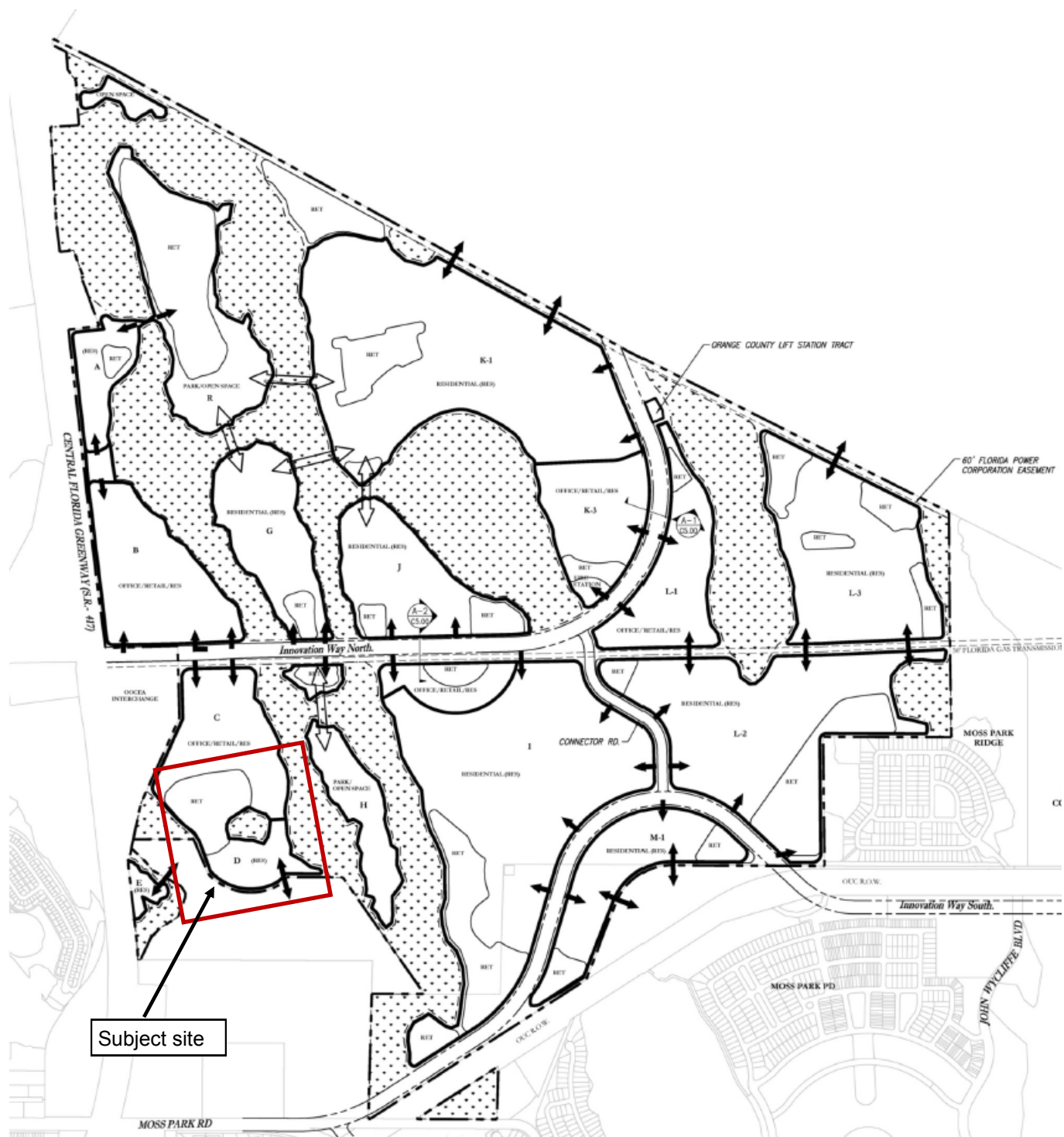
On July 7, 2008, the City adopted a Public School Facilities Element (PSFE) and the Amended Interlocal Agreement for Public School Facility Planning and Implementation of Concurrency which requires all residential developments be subject to school concurrency review. The agreement was amended and restated on March 9, 2011. Under the terms of the agreement, the City will advise OCPS of comprehensive plan amendments, zoning amendments, and development proposals that may have the effect of increasing existing density. This project is subject to concurrency.

**Water Reclamation**

The proposed development is located in the City of Orlando but within the Orange County's sanitary sewer area and reclaimed water service territory. Sanitary sewer and reclaimed water will be provided by Orange County Utilities. The sanitary sewer and reclaimed water design will need to be coordinated with and reviewed by Orange County Utilities.



# Wewahootee PD Master Site Plan

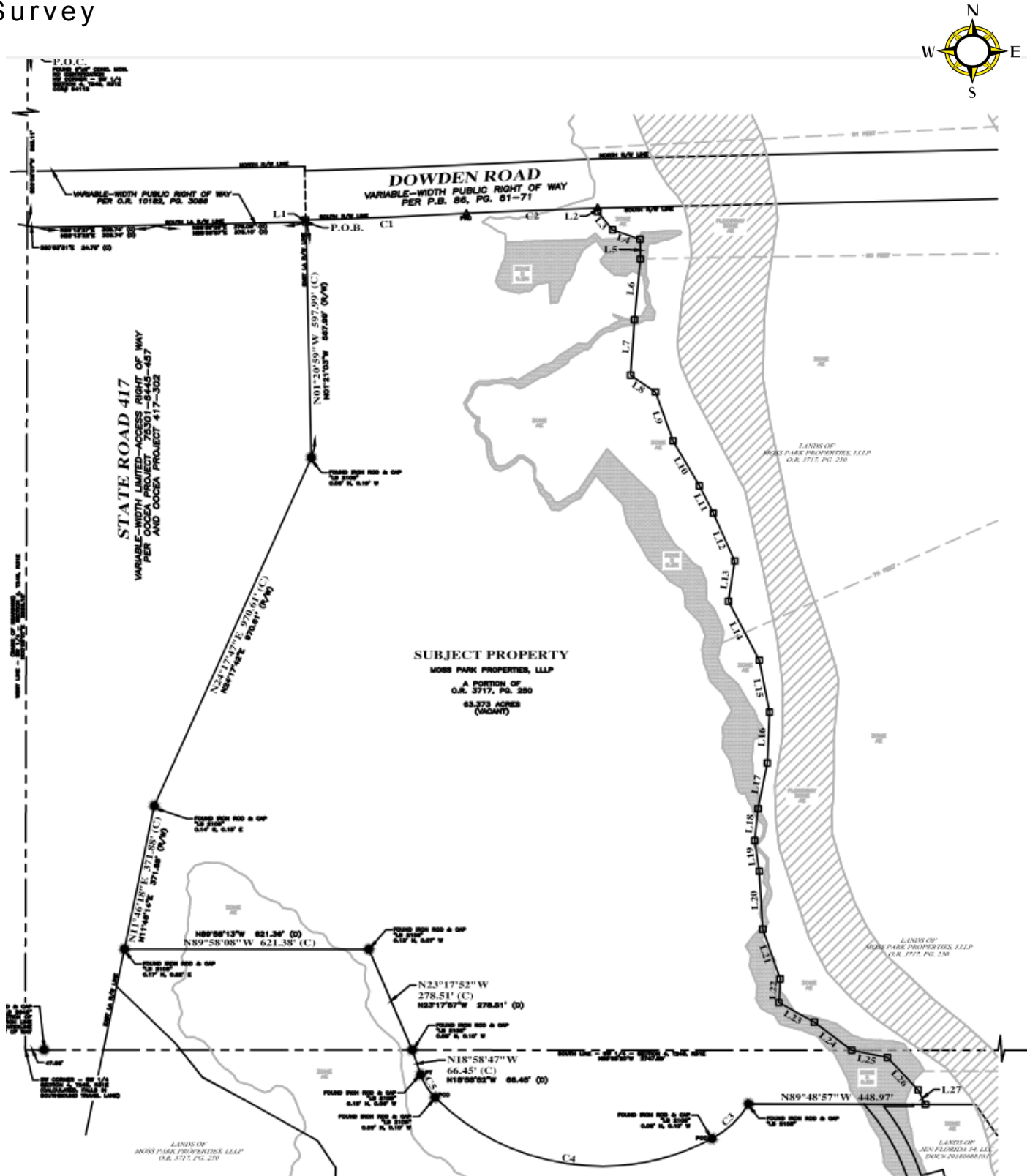


# Aerial Photo





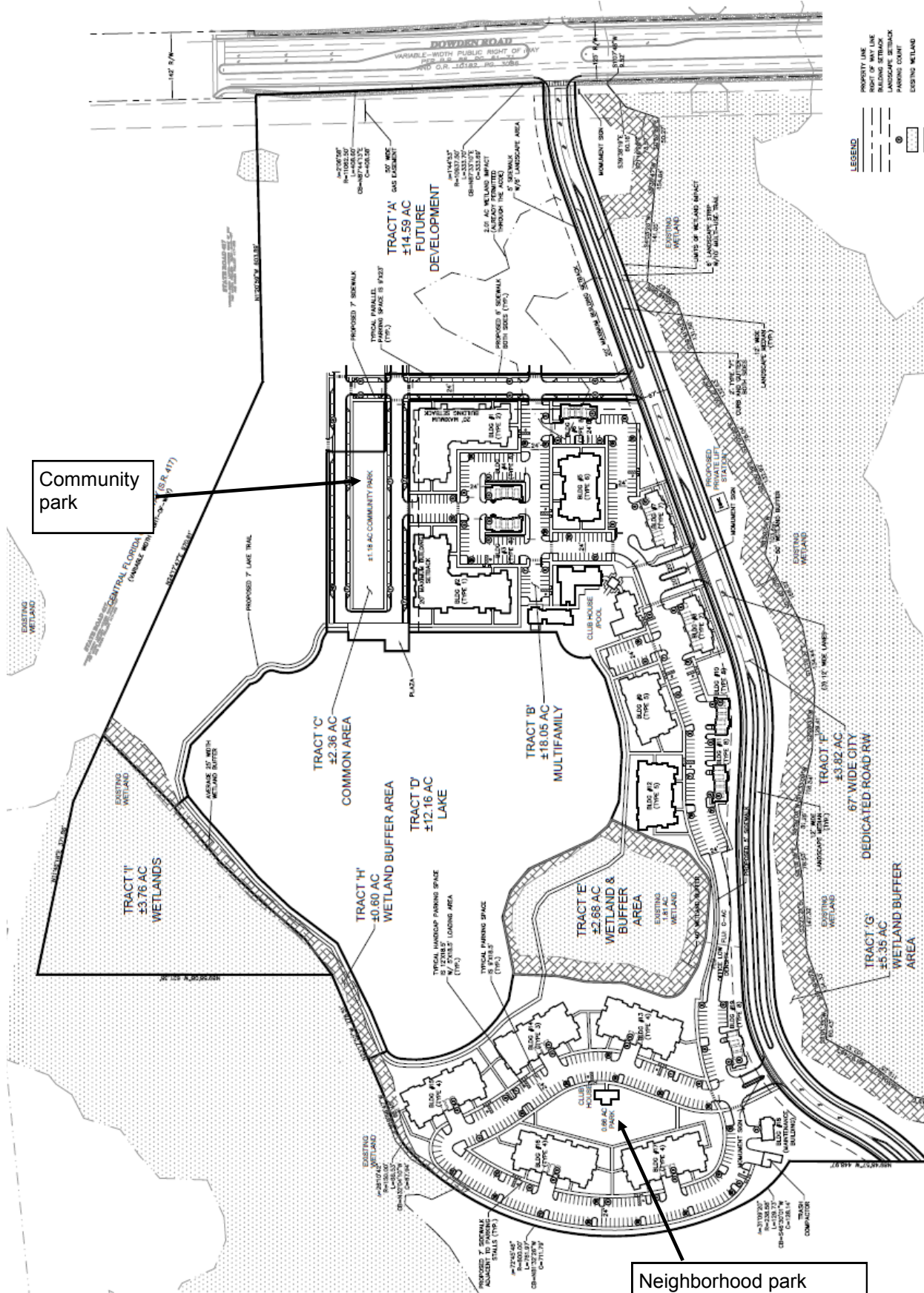
Survey



# Proposed Plan

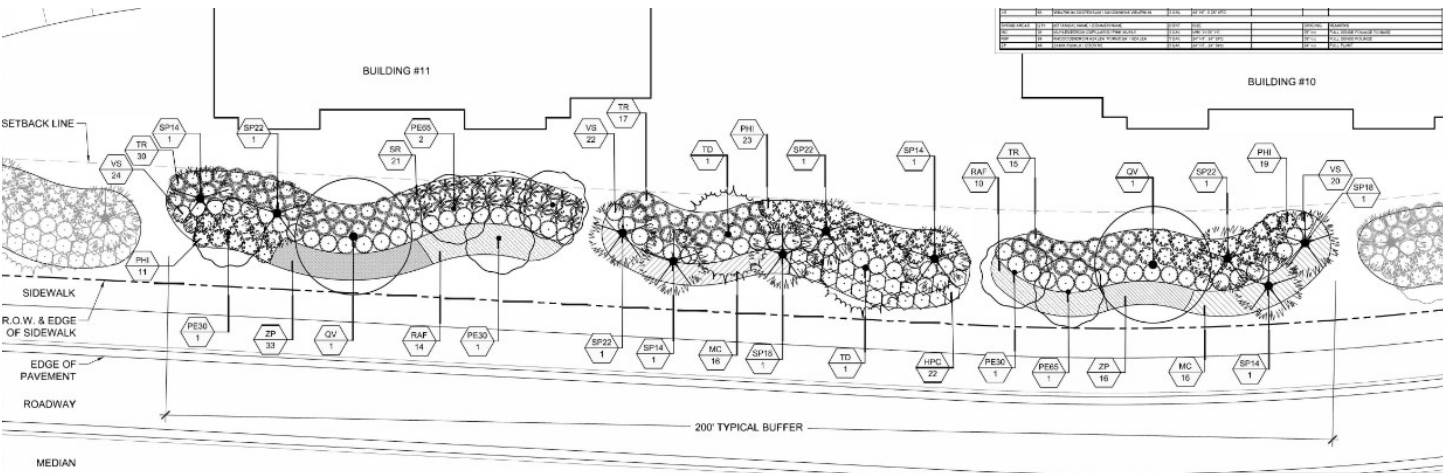


- LEGEND**
- PROPERTY LINE
  - RIGHT OF WAY LINE
  - RAILROAD SETBACK
  - LANDSCAPE SETBACK
  - PARKING COUNT
  - EXISTING WETLAND

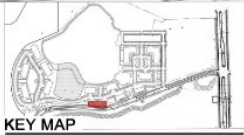




Landscaping Detail



TYPICAL BUFFER SECTION (200' STANDARD SECTION)  
SCALE: 1" = 8'



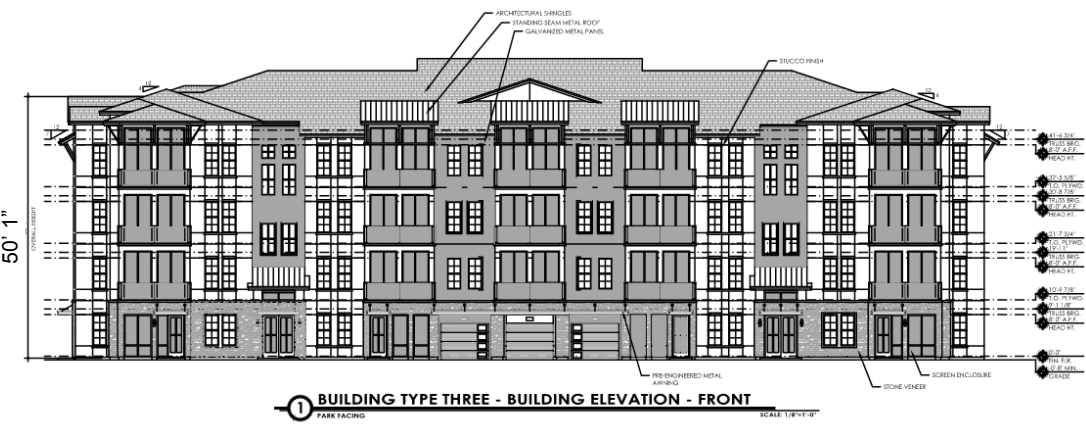
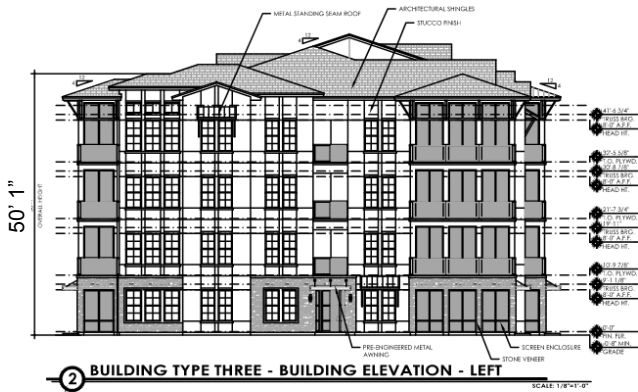
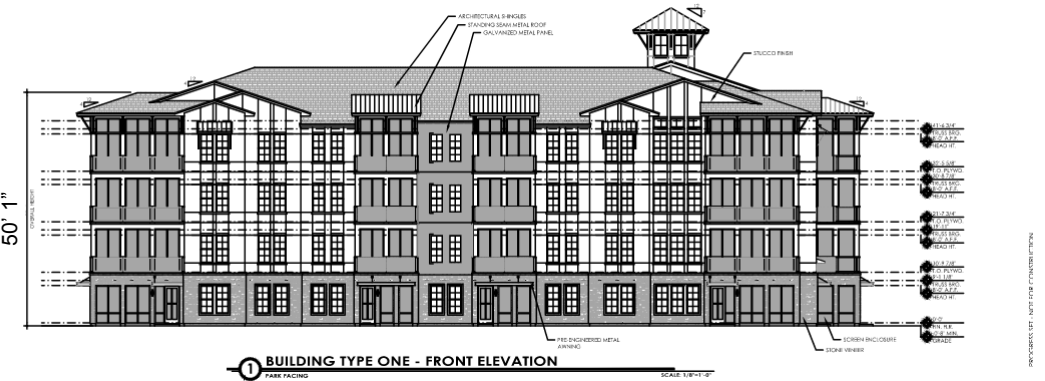
KEY MAP

REFER TO ARCHITECTURAL PLANS  
FOR BUILDING ELEVATIONS

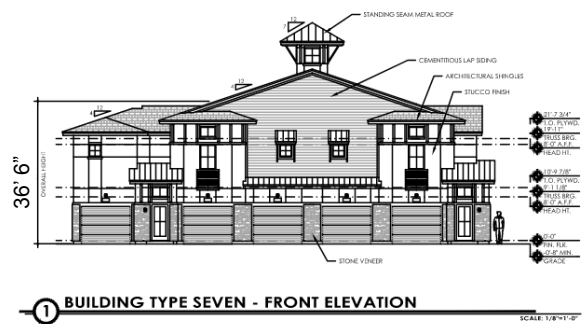
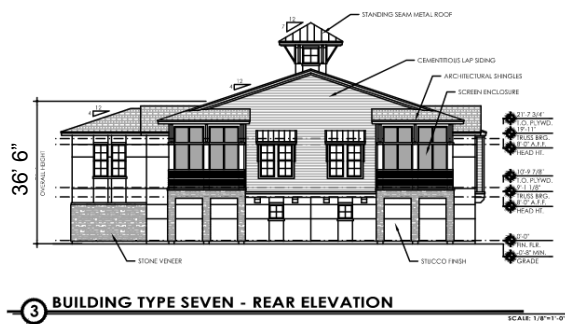
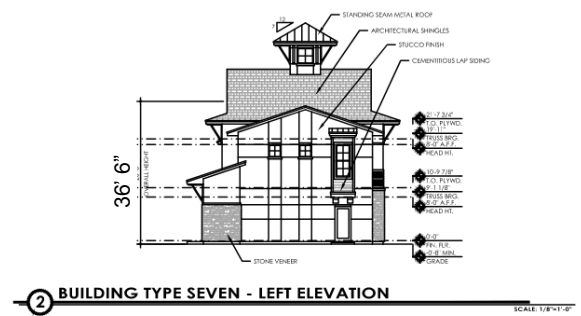
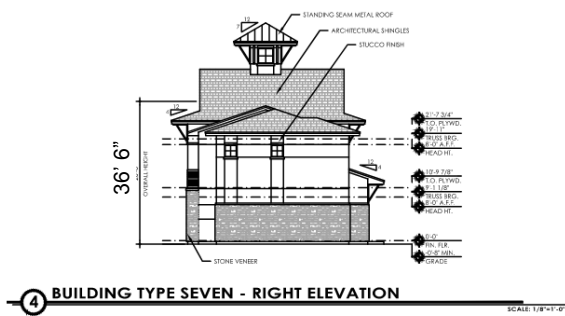
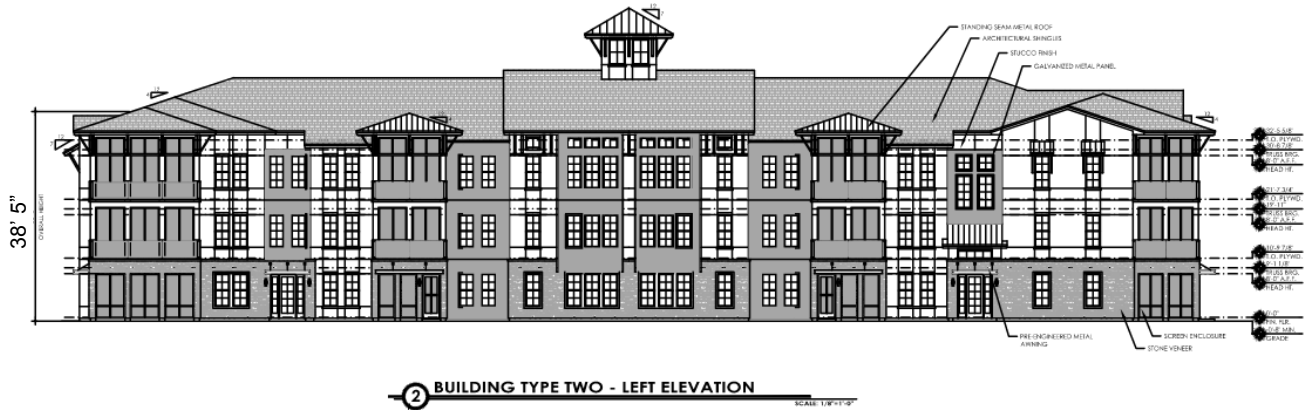


TYPICAL BUFFER ELEVATION (200' STANDARD SECTION)  
SCALE: 1" = 8'

Elevations

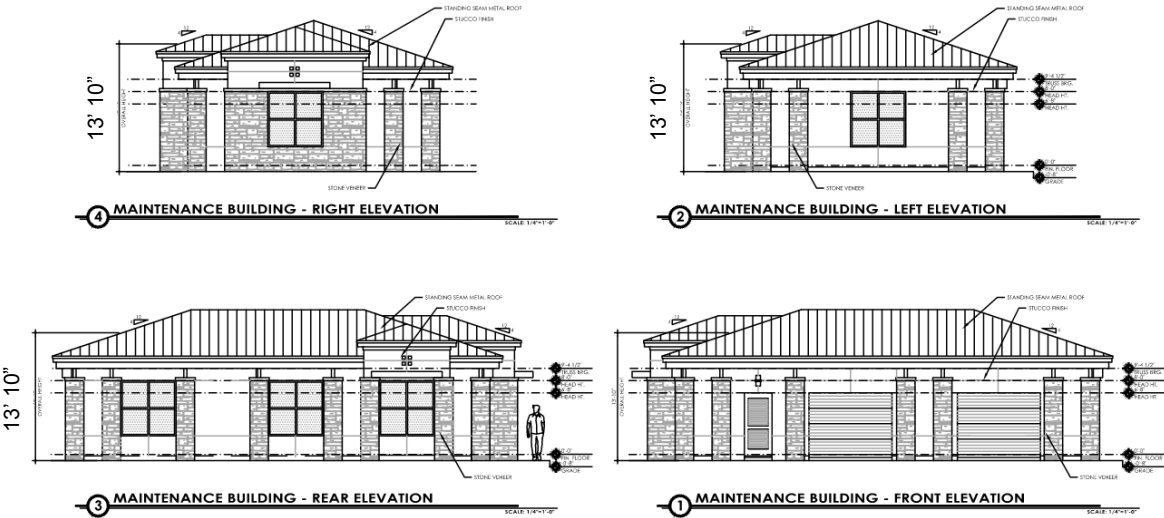


# Elevations (cont.)





# Elevations (cont.)



# Rendering



1 BUILDING TYPE ONE AND BUILDING TYPE TWO

# Findings

Subject to the conditions contained herein, the proposal is consistent with the requirements for approval of Master Plan applications contained in Section 65.331 of the Land Development Code (LDC):

1. The proposed use is consistent with the City's Growth Management Plan.
2. The proposed use is consistent with the purpose and intent of the PD zoning district and all other requirements of the LDC.
3. The proposed use will be compatible with surrounding land uses and the general character of the area.
4. The necessary public facilities will be adequate to serve the proposed use, or will be provided by the applicant as a condition of this approval.

Staff recommends approval of MPL2019-10024 subject to the conditions below:

## Conditions of Approval

### Land Development

1. **Subject To Codes.** Except as provided herein, the development is subject to all codes and ordinances of the State of Florida, City of Orlando, and all other applicable regulatory agencies. The default zoning is O-1 and AC-1, consistent with the FLU.
2. **Development Requirements.** Except as modified herein, the project shall be developed in accordance with the requirements of the Growth Management Plan, and any other pertinent provisions of the Conventional LDC, and the Wewahoot-ee PD.
3. **Approval.** Approval of the Specific Parcel Master Plan by City Council shall grant the applicant authority to submit an application for site plan/master plan review for a building permit. The application must be submitted within twenty-four (24) months of approval of the Specific Parcel Master Plan (by the City Council) or the Master Plan shall expire. However, upon written application filed 30 days prior to the expiration date, the Planning Official may renew the Master Plan for one period of up to 12 months providing good cause is shown.
4. **Development Permits.** As provided by subsection 166.033(5), Florida Statutes, issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. In accordance with subsection 166.033(5), Florida Statutes, it is hereby made a condition of this permit that all other applicable state or federal permits be obtained before commencement of the development.
5. **Consistency.** Unless amended by any conditions found herein or any modifications recommended by the MPB and approved by City Council, this project shall operate and be developed only as described and conditioned within this report and in accordance with the attached site plan and any other plans or commitments provided in the application package. Any changes in the use of the site, the operation of the project, or the site plan as provided herein may require an amendment to the project and review by the MPB and City Council (see "Minor Modifications" condition below.) This approval is not transferable to another property. All other applicable state or federal permits must be obtained before commencing development.
6. **Minor Modifications.** Minor modifications to the project, including changes to the design and site plan reviewed by the Municipal Planning Board or City Council may be approved by the Planning Official without further review by the Municipal Planning Board. Major changes shall require additional review by the Municipal Planning Board.

7. Compliance. Plans must be modified to show compliance with the conditions in this report/letter when submitting for building permits.
8. Wetland Setback. Per the PD the minimum building setback from the 25 ft. wetland buffer must be 20 ft., for a total minimum building setback of 45 ft. from the wetland line. Provide proposed setback for 'building #12' to ensure compliance.
9. Phasing. If developed in multiple phases, each phase must function independently of each other and meet all requirements independently.
10. Primary Street. The street with the parallel parking spaces along the northern and western perimeter of the multifamily site will be considered the primary street for PD purposes. It is to be designed with parallel parking and 6 ft. wide sidewalks. Also, the 90 degree parking stalls (adjacent to the primary street) may not project in front of the building facades (applicable to buildings #1, 2 & 6).
11. Height. Maximum permitted building height in Office Low portion of site is 40 ft. and the maximum permitted height in the Commercial Activity Center portion is 75 ft.
12. Master Sign Plan. A Letter of Determination for Master Sign Plan will be required to establish a cohesive design for this site and future development Tract 'A'. Monument signs are limited to a height of 12 ft. and a maximum of 18 sq. ft. per sign face and be consistent with LDC section 64.257 "Multi-family Identification Signs". Pole signs are prohibited.

## Urban Design

### 1. Site

- a. A complete pedestrian connection must be provided around Track D (Lake). Provide a connection from building 2 to building 9. The applicant shall coordinate with staff on the pedestrian connection from building 2 to building 9 to provide a seamless connection between the two.
- b. At the main street locations, To help keep the speed of traffic down and to provide a greater tree canopy, provide bulb-outs every 4 parking spaces. Bulb-out to include a canopy tree
- c. Sidewalk connections to the main pedestrian circulation are needed at building 3,4,6, 5, 10,11,19, & 18
- d. Knee walls, a maximum of 3 ft. tall, must be provided at all parking stalls facing the ROW to be dedicated to the City (Tract 'F'). This is to occur adjacent to building 19,11,10,8 & 7. Knee walls are to have identical materials to match building on site.
- e. To allow parking scheme to function properly; no garage shall be allowed to be utilized as storage, preventing the use of the garage as the parking needed. Add glazing to the garage vehicle doors so that this provision may be enforced by management.
- f. Tandem parking spaces shall not encroach in to the pedestrian sidewalks. Parking stalls in front of garages shall have a minimum parking length of 18.5 ft.
- g. The sidewalk adjacent to the garage doors must have a change in material.
- h. Crosswalks must be textured colored concrete or similar at all internal drives and intersections where a pedestrian connection occurs.
- i. Additional sidewalks maybe required at time of permitting review to complete the pedestrian circulation.
- j. Remove the sidewalk at the southern most parking area.
- k. Add sidewalks on both sides of the road at the southern entrance of the site.
- l. Add an additional sidewalk from building 17 to eastern parking stall area sidewalk.
- m. Provide A minimum of 7.5ft landscape strip adjacent to the main drive aisle east of the wetland.

### 2. Landscape

- a. A landscape plan was not submitted. A final landscape plan, including plant list, must be developed in accordance with Chapter 60 of the LDC and submitted for Appearance Review prior to building permits.
- b. Landscape Plan Review. All landscape plans must achieve the Minimum Required Landscape Score (MRLS) required for the proposed type and intensity of development. Meet City Code Chapters 60 and 61. A spreadsheet showing compliance with the Minimum Required Landscape Score must be included with the plans. A digital spreadsheet form is available at <http://www.cityoforlando.net/city-planning/landscape-code/>
- c. Irrigation systems must be designed and maintained with industry standard water efficiency measures or equipment, such as:
- d. A weather-based evapotranspiration controller,



- e. Zoned soil-moisture sensors, or
- f. A low volume system using drip emitters for shrubs and groundcover and flood bubblers for trees. Impact sprinklers are prohibited.
- g. Effective tree preservation must be integrated with the project design and land development process. Identify trees suitable for preservation. Only trees that have a strong potential for sustained long-term growth must be selected.
- h. Tree clearing (excluding the clearing of invasive exotic species) shall not commence until full site and building development plans have been approved. Contact the City Parks Division for an inspection of on-site trees during the design process.
- i. All row end parking stalls must have a tree island.
- j. Landscape parkway area must be a minimum of 7.5ft along the north/side proposed roadway. All landscape parkway strips throughout the project must have a minimum of 7.5ft.

### 3. Utilities

- a. Service areas and dumpster enclosures must incorporate architectural materials and design details similar to the principal buildings. Service areas must have gates or screens that shield the areas from view when not in use. Design of gates shall be solid and have architectural interest to complement the building
- b. All a/c units shall meet the screening requirements of the LDC.

### 4. Architecture

- a. Deviation from the submitted elevations will require necessitate additional review requirements.

## Transportation

1. Except as where noted in this staff report, all aspects of the site plan are required to conform to all applicable minimum standards set forth in the editions of the City Code and the City Engineering Standards Manual that are in force at the time of any construction of this project.

Support of this submittal by the Transportation Dept. does not constitute final engineering approval of this concept for development. Materials and designs for transportation related elements of the project must meet or exceed standards in the versions of the City Code and Engineering Standards Manual in effect at the time of submittal to Permitting Services. Proper sightlines must be maintained at all driveways and parking areas. Site plans and landscaping plans submitted to Permitting Services should include sightline triangles and dumpster pad locations. AutoTurn analysis for emergency vehicles and solid waste collection should be attached to plans to prevent delays in processing.

2. Crosswalks providing access to the trail on the east side of the street must be provided at all driveways onto the city street on the east side of the project. These must conform to City standards and be analyzed to determine if raised crosswalks and/or flashers are warranted at any of the 3 locations. This analysis will be conducted by the applicant's engineer and reviewed and approved by City Transportation Engineering Division staff. If warranted the raised crosswalks and flashers must be installed with the construction of the street. If flashers or raised crosswalks are not warranted, at-grade crosswalks must be installed.

3. The street along the east frontage must be designed and posted for 25 MPH. The travel lanes must be 11 ft wide. A 5 ft. minimum width sidewalk is required on the west side. A 12 ft minimum width trail is required on the east side. Both must meet all ADA requirement.

## Police

### 1. Distributed Antenna Systems (DAS):

All buildings shall provide an adequate level of indoor coverage for public-safety radio service for the City of Orlando radio communications system, including but not limited to police, firefighters, and other emergency responders. A DAS system will also improve commercial cellular service for building occupants. The system will enable all first responders to communicate with dispatch and other field units. Inadequate coverage not only puts first responders at risk but also the citizens they are protecting.

Adequate indoor radio coverage shall include the following standards:

- a) Inbound into the building: A minimum average in-building field strength of 10 dbm above the noise floor throughout ninety-five (95%) of the area on each floor of the building when transmitted from the city's police dispatch center and the appropriate emergency service dispatch centers which are providing fire and emergency medical protection service to the building.

b) Outbound from the building: A minimum average outbound field strength of 10 dbm above the noise floor throughout ninety-five percent (95%) of the area on each floor of the building when transmitted from the field units portable radio to the appropriate emergency service dispatch centers which are providing fire and emergency medical protection service to the building.

c) The City's Communications Unit with consideration of the appropriate police, fire and emergency medical department services shall determine the frequency range or ranges that must be supported. For the purpose of this section, adequate radio coverage shall constitute a successful communications test between the equipment in the building and the Communications Centers for all appropriate emergency service providers for the building.

d) If any part of the installed system or systems contains an electrically powered component, the system shall be capable of an independent battery or generator system for a period of at least twelve hours without external power input or maintenance. The battery system shall automatically charge in the presence of external power.

e) FCC authorization: All amplification equipment must be FCC Type Accepted.

f) Developments must comply with NFPA 72-2010 – National Fire alarm and Signaling Code, Public Safety In-Building Requirements, as it pertains to emergency communications systems (ECS), and their components.

If you have any questions regarding the requirements as listed above, it is suggested that you contact the OPD Radio Systems Administrator, Rebecca Gregory at 321.235.5314 or [Rebecca.gregory@Orlando.gov](mailto:Rebecca.gregory@Orlando.gov). The OPD Technical Review Committee representative, Audra Rigby at 407.246.2454 or [Audra.Rigby@Orlando.gov](mailto:Audra.Rigby@Orlando.gov), can also assist the applicant in contacting the Radio Systems Administrator.

## Informational Comments

### Fire

1. TRC fire code site review is preliminary in nature and is not an official approval of the project as a whole. It is intended to expose or prevent evident design deficiencies with State and City Fire Codes. The architectural design of the building, life safety features, floor plans, egress system, fire protection systems, fire department access and MEP will be reviewed in detail for State, Fire Code, FFPC and City Fire Code compliance at the time of permit application.

2. Interior Access: Conditional to this review the design of all buildings must account for fire department access. The access road itself must extend 50ft. from an exterior doorway that allow access to the buildings interior via a common hall or common lobby area, or the largest tenant area if the building does not have a common interior area. NFPA 1.18.2.3.2.1

3. Manual Suppression: any portion of the building or exterior wall of the first story shall be located not more than 150 ft from the fire department access road as measured by an approved route around the exterior of the building or facility. The distance can be increased to 450ft. if the building is protected by an automatic sprinkler system. [NFPA 1.18.2.3.2.2 and NFPA 1.18.2.3.2.2.1] Approved.

4. Turnaround: an approved turnaround shall be provided for fire apparatus where an access road is a dead end in access of 150 ft. When a dead end road will not accommodate an approved t-turn or turn-a-bout a minimum width of 25 ft. will be required. The turnabout shall be the minimum 20ft. width of the fire department access road and sized for the dimensions of the largest OFD apparatus. Use of areas subject to obstruction by vehicles such as loading docks and parking garages are prohibited. Acceptable turnarounds can include T-turn, Y-turn or cul-de-sac (designs and dimensions are subject to the approval of Orlando Fire Department). See Exhibits in NFPA Fire Code handbook. NFPA 1.18.2.3.4.4

5. Fire Department Access Road: All fire department access roadways shall have an all-weather driving surface, capable of supporting the load of fire apparatus, a minimum 20 ft. in width and a minimum vertical clearance of at least 13 ft. 6 in. [NFPA 1 18.2.2.5.4 and NFPA 1 18.2.3.4.1.1] City of Orlando apparatus requires a turning radius dimension of 30 inside and 50 exterior and shall maintain the minimum 20ft. width. An auto-turn analysis is required for the radius turns indicated on the site plan. NFPA 1.18.3.4.3.1 and NFPA 1.18.3.4.3.2

6. Water Supply: The plan indicates fire hydrants will be required. Because building information is not provided, fire hydrant location and spacing will be reviewed at the time of building permitting. All portions of an unsprinklered building must be within 300 ft hose lay distance of a fire hydrant. All portions of a sprinklered building must be within 500 ft hose lay distance of a fire hydrant. City Code ch 24.27(f)

### Public Works

1. Per Section 7.01 of the City's ESM, any proposed project to be built in the City of Orlando which alters the existing topographic characteristics will be required to provide stormwater treatment. Alterations of surface drainage (with the exception of resurfacing and landscaping elements only) is defined as: changing the flow patterns within the redevelopment area; changing the mode of transport from overland flow or open channel to a closed conduit, etc.; changing an impervious surface's character (from building to parking, wet bottom pond or a new building or vice versa); changing the character of a parking surface (from shell base to asphalt, etc.); or remodeling of an existing building which changes its footprint or number of floors. When applying for an Engineering Permit, please submit the Drainage Report, Geotech Report, Stormwater Tabulations, and all necessary docs needed in order to verify the City's and Water Management District standards are met.

2. Water quality recovery shall be recovered per the requirement of the Water Management District. Please provide model demonstrating the recovery analysis. A Water Management District water treatment permit may be required.

3. Provide a certification signed by the Engineer, licensed in the State of Florida, responsible for the stormwater design which reads as follows: "I hereby certify that to the best of my knowledge and belief, the design of the Stormwater Management System for the project known as: (Project Name) meets all of the requirements and has been designed substantially in accordance with the City of Orlando Stormwater Management Criteria."

4. All proposed and existing sidewalk that is touched during construction will need to be updated to the newest ADA requirement.

5. Sidewalk construction shall be required at the time of this substantial improvement per Sec. 61.225 and 66.200 of the City of Orlando Muni Code. Proposed sidewalks must be constructed along the entire length of the property and shall be located against the public right-of-way.

6. A City Service Agreement is required by the Owner if portion of sidewalk is within private property. The easement would protect the Owner from maintaining the sidewalk and from other potential issues. Otherwise, the Owner would be responsible to maintain and be liable for potential litigation if someone is injured on a failing sidewalk that is in disrepair.

7. Please clarify whether the sidewalk will be paver. Please note that if pavers are to be constructed beyond the property line and out into the City's Right of Way the owner is required submit a signed and recorded a Right-of-Way Pavers Agreement. Sidewalk portion of driveway must still be composed of 3,000 psi concrete. Refer to [http://www.cityoforlando.net/permits/wpcontent/uploads/sites/29/2014/03/Pavers\\_Encroach\\_Agmt1.pdf](http://www.cityoforlando.net/permits/wpcontent/uploads/sites/29/2014/03/Pavers_Encroach_Agmt1.pdf).

8. This site appears to be over 1 acre. Construction activities including clearing, grading and excavating activities shall obtain a FDEP NPDES NOI. A copy of the NPDES NOI Acknowledgement letter must be received in the Office of Permitting Services prior to permit approval.

9. Please submit a detailed, scalable, fully dimensioned site plan of the location. The site plan should include but not be limited to the site legal description, the building, streets, sidewalks and property lines, and the location of the proposed work. Site plans should clarify what is existing and what proposed.

10. Please provide a signed and sealed existing topographic survey with datum and official benchmark in the NAVD88 vertical datum. Per the City's ESM Section 7.01.A.1, survey data shall be gathered to least 25 feet beyond the property line or as far offsite as required to assure offsite drainage patterns are maintained.

11. Please submit a signed and dated private/public improvements cost sheet. Cost sheet forms and instructions are available at our website at [www.cityoforlando.net/permits](http://www.cityoforlando.net/permits).

12. A performance guarantee for public improvements is needed in the amount of 110% of the public improvements cost. Cost sheet forms and instructions are available at our website at [www.cityoforlando.net/permits](http://www.cityoforlando.net/permits). Performance Guarantee is required before the issuance of the permit. The original needs to be hand delivered to the receptionist at Permitting



Services with the referenced case number. In addition, attach a copy of this in the resubmitted package. Please allow approximately 1 week after the Performance Guarantee is submitted to allow for the City's Legal Office to review.

13. Please be advised that a portion of the site is located within the floodplain. Grading shall be flushed to match with the existing grade of the site, and existing grade will be maintained without any fill in the 100-year floodplain. However, if alteration of grading or structures is proposed and displaced existing 100 year flood plain, a compensating storage must be provided for any displaced flood water.

14. Finished floor elevations shall be 1 FT above the base flood elevation (BFE) if the building is proposed in Floodzone. Please indicate this on the plans.

15. Elevation regarding machinery and air condition serving the building must be elevated 1 ft. above BFE.

16. Other comments may arise depending on the contents submitted to permitting.

# Contact Information

**Growth Management**

For questions regarding Growth Management plan review, please contact Colandra Jones at 407.246.3415 or [colandra.jones@cityoforlando.net](mailto:colandra.jones@cityoforlando.net).

**Land Development**

For questions regarding Land Development review, please contact Michaëlle Petion at 407.246.3837 or [michaëlle.petion@cityoforlando.net](mailto:michaëlle.petion@cityoforlando.net).

**Urban Design**

For questions regarding Urban Design plan review, please contact Terrence Miller at 407.246.3292 or [terrence.miller@cityoforlando.net](mailto:terrence.miller@cityoforlando.net).

**Transportation**

For questions regarding Transportation review, please contact John Rhoades at 407.246.2293 or [john.rhoades@cityoforlando.net](mailto:john.rhoades@cityoforlando.net).

**Engineering/Zoning**

For questions regarding Development Review contact Keith Grayson at 407.246.3234 or [keith.grayson@cityoforlando.net](mailto:keith.grayson@cityoforlando.net).

**Police**

For questions regarding Police plan review, please contact Audra Rigby at 407.246.2454 or [audra.rigby@cityoforlando.net](mailto:audra.rigby@cityoforlando.net).

**Fire**

For any questions regarding fire issues, please contact Chip Howard at 407.246.2143 or at [Charles.howard@cityoforlando.net](mailto:Charles.howard@cityoforlando.net).

**Building**

For questions regarding Building Plan Review issues contact Don Fields at 407.246.2654 or [don.fields@cityoforlando.net](mailto:don.fields@cityoforlando.net).

**Parks**

For questions regarding Parks Plan Review issues contact Denise Riccio at 407.246.4249 or [denise.riccio@cityoforlando.net](mailto:denise.riccio@cityoforlando.net).

For questions regarding Tree Review issues contact Ken Pelham at 407.246.4280 or [kenneth.pelham@cityoforlando.net](mailto:kenneth.pelham@cityoforlando.net).

**Water Reclamation**

For questions regarding Parks Plan Review issues contact David Breitrick at 407.246.3525 or [David.breitrick@cityoforlando.net](mailto:David.breitrick@cityoforlando.net).

# Review/Approval Process—Next Steps

- 1.MPB minutes scheduled for review and approval by City Council
- 2.Plat
- 3.Determinations for final site plan review and master sign plan
- 4.Building permits