

Bainbridge Universal Major Apartments

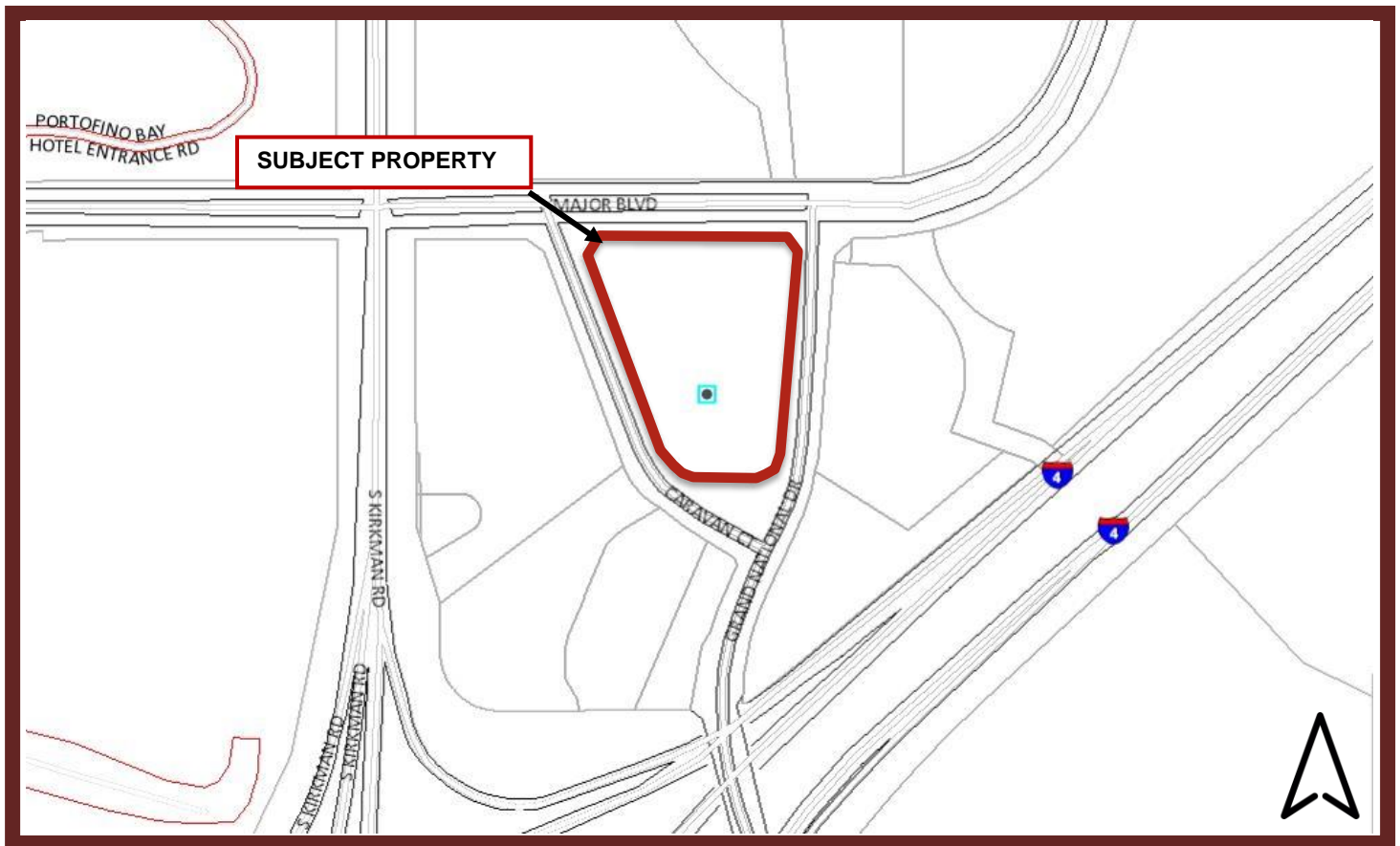
Project Overview (updated 7/1/20)

NOTE: The information presented in this project overview is based on staff's preliminary review of the submitted application and is subject to change. Contact the Project Planner for the latest project information.

Case Number(s): MPL2020-10045

Project Location & Property Size: 5767 Major Blvd (Located on the south side of Major Blvd and west of Grand National Dr) (±5.66 acres, District 6);

PID: 18-23-29-5401-03-000



Project Description: Master Plan request for a new ±397-unit, 5-story multi-family development with a 6-level parking garage.

Existing Zoning District and Future Land Use Classifications

Future Land Use Classification – MET-AC (Metropolitan Activity Center)

Zoning – AC-3 (Metropolitan Activity Center)

Application Documents

Scroll down for plans submitted by the applicant for this project.

If you wish to review the file, please submit a Public Records Request at: <http://www.cityoforlando.net/cityclerk/city-records-and-archive-management-services/>

Public Hearing

This project is tentatively scheduled for a public hearing at the Municipal Planning board meeting on August 18, 2020. (8:30AM, Location TBD)

Parking Availability

At the City Commons Parking Garage located on Boone Ave., between South St. and Anderson St. (on the west side of City Hall). This garage charges a fee. For more information, go to:

<http://www.cityoforlando.net/parking/downtown-parking-locations/>

Contact Information:

Applicant	Staff - Project Planner
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Project Status and Next Steps

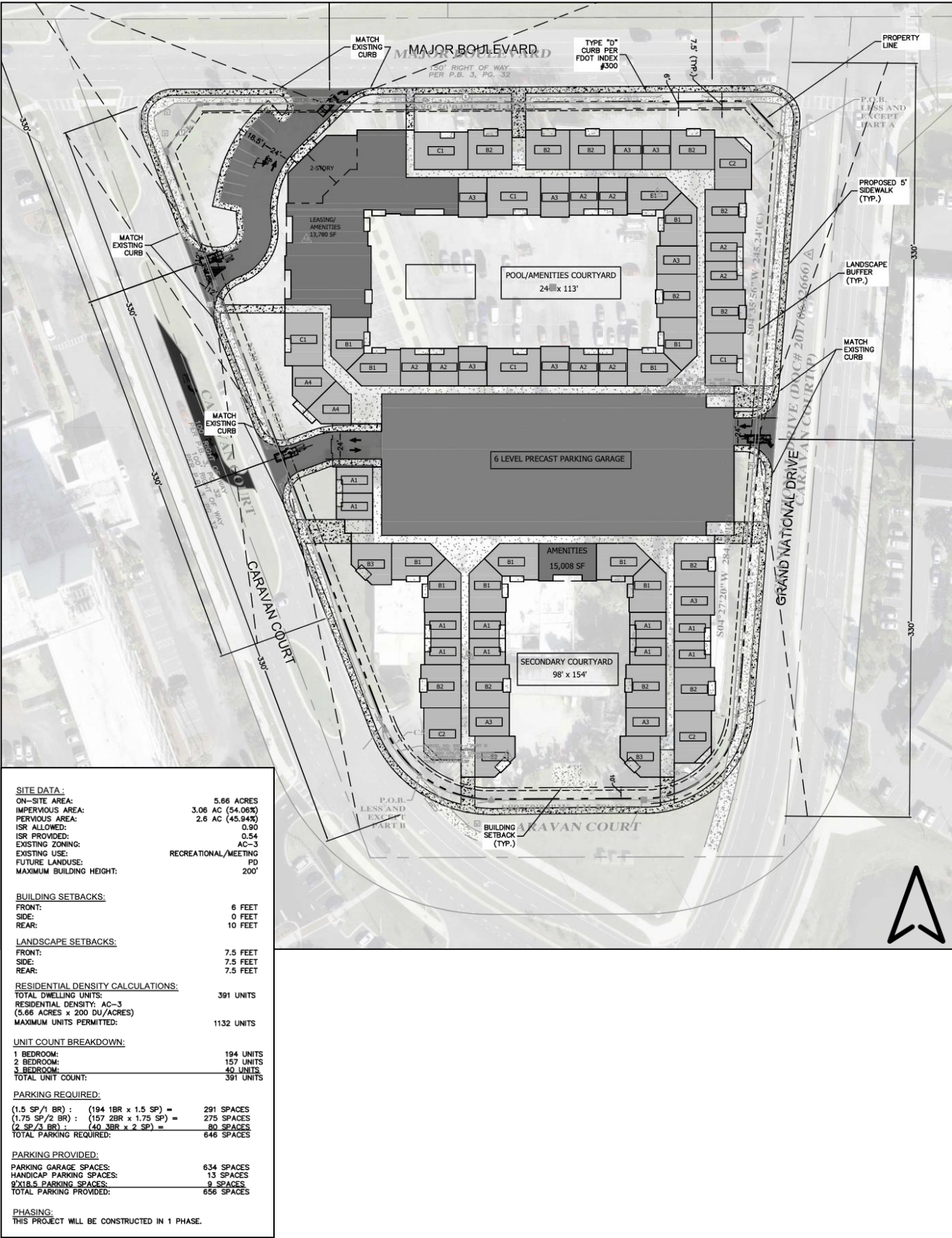
May 28, 2020	Application received by City Planning Division
August 4, 2020	Technical Review Committee meeting (tentative)
August 18, 2020	Municipal Planning Board meeting (tentative)

Aerial

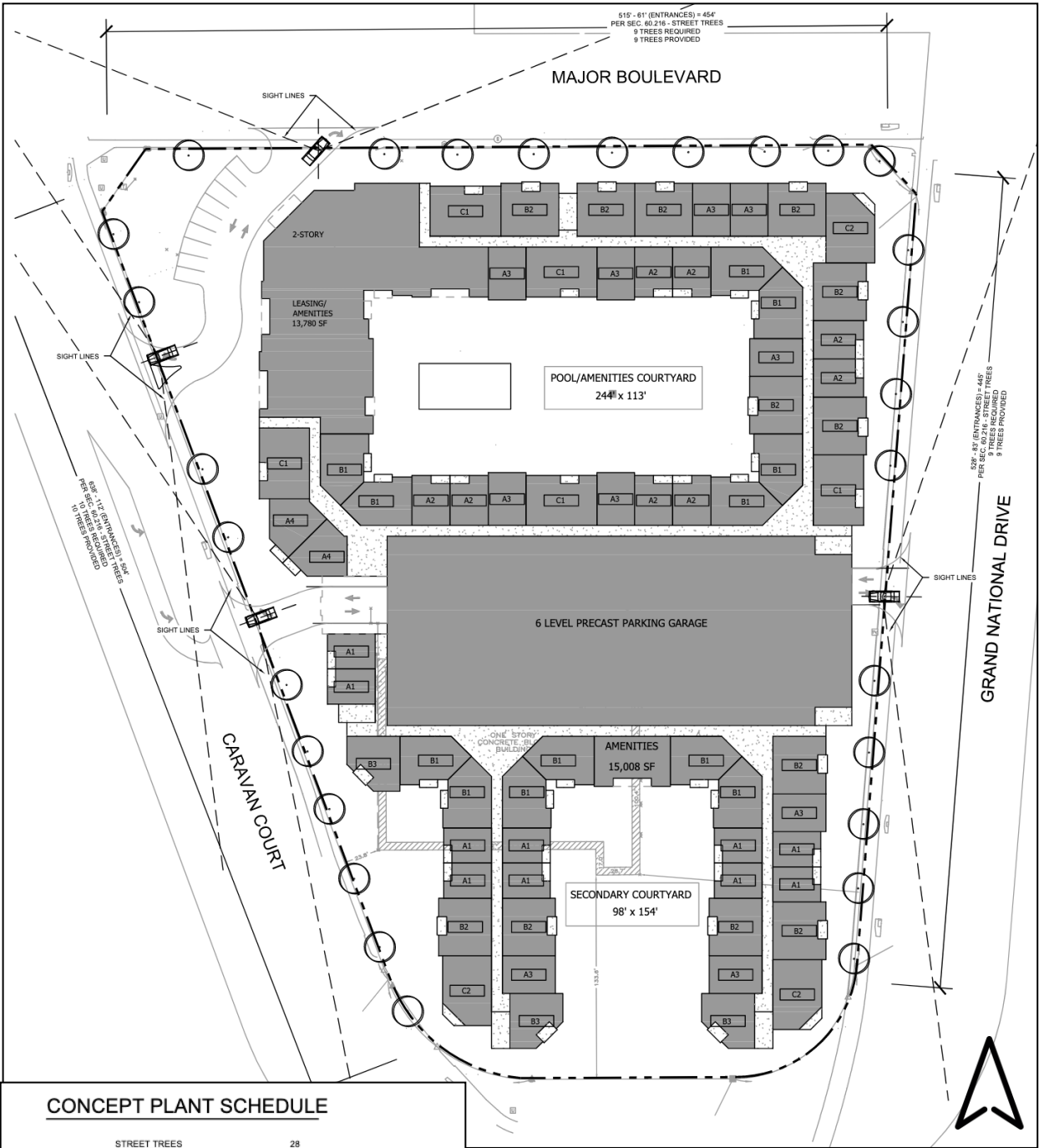


Existing building houses a tourist info center, building to be demolished.

Site Plan



Landscape Plan



CONCEPT PLANT SCHEDULE

STREET TREES 28
12" HT MIN, 2" CAL, FROM APPROVED
TREE LIST
LIVE OAK
WINGED ELM
SHUMARD RED OAK

CITY OF ORLANDO LANDSCAPE CODE

SEC 60.216 - STREET TREES
1 TREE PER 50 L.F.

	REQUIRED	PROVIDED
NORTH PROPERTY LINE - 515' - 61' (ENTRANCES) = 454'	9	9
EAST PROPERTY LINE - 528' - 83' (ENTRANCES) = 445'	9	9
WEST PROPERTY LINE - 638' - 112' (ENTRANCES) = 504'	10	10

**INTERIOR LANDSCAPE TO BE PERMITTED SEPARATELY

Elevations





2 PARTIAL SOUTH ELEVATION - AREA C
SCALE: 3/32" = 1'-0"



1 PARTIAL SOUTH ELEVATION - AREA B
SCALE: 3/32" = 1'-0"



1 PARTIAL EAST ELEVATION - AREA A
SCALE: 3/32" = 1'-0"



2 PARTIAL EAST ELEVATION - AREA C
SCALE: 3/32" = 1'-0"