

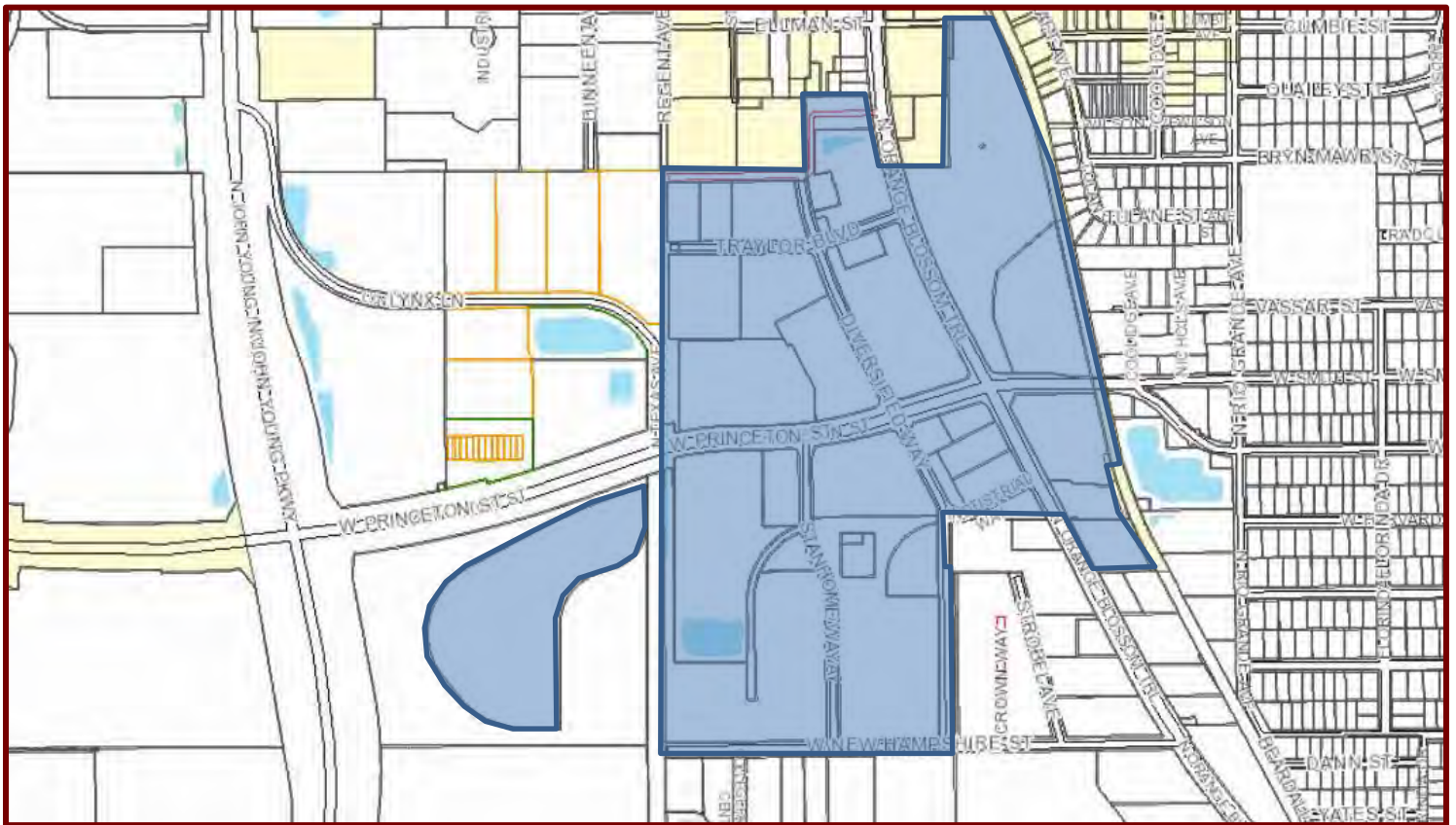
# The Packing District PD Sign Package

Project Overview (updated 12/4/2019)

NOTE: The information presented in this project overview is based on staff's preliminary review of the submitted application and is subject to change. Contact the Project Planner for the latest project information.

**Case Number(s):** ZON2019-10032

**Project Location & Property Size:** Multiple properties generally located along W. Princeton Street and Orange Blossom Trail between the CSX rail line and John Young Parkway. The subject properties include the existing boundaries of the Princeton Commerce Center PD and 1625 W. Princeton St. and 16-22-29-0000-00-018. Approximately ±109.34 acres, District 3



**Project Description:** Request for an amendment to the PD for a master sign plan including roof signs.

Existing Zoning District and Future Land Use Classifications

Future Land Use Classification – UR-AC (Urban Activity Center)

Zoning District – PD (Planned Development with default AC-3 and I-G zoning districts) and AC-2

Application Documents

**Scroll down** for plans submitted by the applicant for this project.

If you wish to review the file, please submit a Public Records Request at:

<http://www.cityoforlando.net/cityclerk/city-records-and-archive-management-services/>

Additional or revised documents may be included in the Staff Report, to be posted on the City's website a week before the tentative public hearing date below, at: [cityoforlando.net/mpb](http://cityoforlando.net/mpb) - then click on "Current Agenda."

## Public Hearing

This project is tentatively scheduled for a public hearing at the Municipal Planning Board on January 21, 2020 (City Hall 2<sup>nd</sup> floor, City Council Chambers, 8:30AM)

## Parking Availability

At the City Commons Parking Garage located on Boone Ave., between South St. and Anderson St. (on the west side of City Hall). This garage charges a fee. For more information, go to: <http://www.cityoforlando.net/parking/downtown-parking-locations/>

## Contact Information:

Applicant	Staff - Project Planner
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## Project Status and Next Steps

November 23, 2019	Full application received by City Planning Division
January 15, 2020	Staff Report available at <a href="http://cityoforlando.net/mpb">cityoforlando.net/mpb</a>
January 21, 2020	at 8:30 AM - Municipal Planning Board meeting (tentative)



# PD Sign Plan

## Packing District Wayfinding Master Plan

Prepared for:  
Dr. Phillips

Prepared by:  
CSG Community Solutions Group

November 25, 2019

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# Packing District PD Sign Plan

## Introduction

The goal of the Packing District is to develop a unique, eclectic, and vibrant mixed-use environment that pays homage to the industrial heritage of the district and the community legacy of Dr. Phillips. Signage will play a major role in setting the tone for that unique environment. The following sign plan allows for cohesive branding of this special place, much needed wayfinding for both pedestrians and vehicles, as well as unique building and placemaking signage.

## Applicability

This Packing District Sign Plan (Sign Plan) is an exhibit to the Packing District PD and describes the requirements for site and building signage on PD property as well as the district-wide wayfinding signage located on adjacent City and FDOT rights-of-way. Where aspects of this Sign Plan conflict with City of Orlando Land Development Code (Code), the Sign Plan shall take precedence. Aspects of signage not specifically addressed in this Sign Plan shall defer to the City Sign Code. In addition to meeting the requirements of this Sign Plan, all proposed signage is subject to City sign permits, encroachment agreements, and FDOT general use permits where applicable.

## General Conditions

From time to time, as conditions within the Packing District change, it will be necessary to amend the approved Sign Plan. Amendments to the Sign Plan will be accomplished through Planning Official Determinations (POD). Changes requiring a POD will include:

- Increasing the number of approved signs;
- Significant relocation of an existing sign;
- Approving a High Rise/Roof-Mounted sign; and
- Adding to or changing the approved sign palette.

Changes not requiring a POD will include:

- Replacing message text;
- Maintenance; and
- Reasonable adjustments to the location of an existing sign within the same property.

The following general conditions shall apply to signs within the Packing District PD:

- Signs within the ROW – certain district wayfinding signs and gateways may be allowed within the ROW subject to the conditions of this sign plan and any other relevant en-

croachment agreements and permits.

- Flexibility of Location – sign locations shown on the maps within the Sign Plan are approximate and do not describe exact locations. Exact sign locations will be subject to actual conditions on the ground, as determined during the permitting process.
- Lighting – unless specifically stated, all signs may be internally or externally lit in accordance with Code and as detailed in the permitting process. Where appropriate, signs may be designed to utilize solar power, with photovoltaic panels and battery storage incorporated into the design of the sign.
- Maintenance – routine maintenance carried out on signs and the updating of individual messages shall not require a permit or an amendment to this Sign Plan.
- Street Signs – the upgrading of street signs is permitted within MUTCD standards and with the coordination of the City's Transportation Department.
- High Rise Signs – high rise signs shall be governed by Section 64.246 of the Code.
- Roof-Mounted Signs – the location, size, and design of roof-mounted signs shall be regulated as described on the following page.
- Building ID Signs – signage affixed to the walls of buildings shall be governed by City Code and district wayfinding shall not count towards the signage allotment for individual buildings.
- Internal Wayfinding – Internal wayfinding, not addressing a public or private right-of-way shall not require a sign permit or POD but may still require other permits.
- Architectural features – certain buildings in the PD may utilize integral architectural features that mimic lettering. Such architectural features shall not be considered a sign for the purposes of this sign plan.
- Phasing - the implementation of the sign plan will be carried out in phases, mostly driven by the speed of the redevelopment. Some aspects of the plan, such as gateways and key vehicular and pedestrian wayfinding will be implemented up front. Other signs identified in the plan will be implemented later, as redevelopment comes on line.

## Existing Signs

As listed in the Documentation of Other Approved Signs section, there are multiple existing signs throughout the Packing District. Some of these existing signs will be replaced with signs from the approved palette but will remain until that time.

Others are expected to remain for an extended period due to building lease terms, and then be either removed or replaced. The Documentation of Other Approved Signs section details those specific conditions.

## **Pedestrian Bridge Signage**

Exhibit D “Mobility Framework Plan” of the Packing District PD includes a proposed Elevated Pedestrian Bridge across US 441. The location for the bridge crossing is where the rail spur currently crosses US 441, and where the rail is proposed to be converted to multi-use paths. The proposed bridge would function as a striking gateway to the District and would be an appropriate location for district branding through signage including text and/or logos.

## **Placemaking Murals**

Placemaking murals shall be defined as any painting on a building, wall, or other structure within the PD that displays elements of both pure art and Packing District-related items such as logos or text. The number of these murals within the PD shall be limited to 6 and no more than 50% of the mural surface may be taken up by Packing District logos or text. Murals shall require Appearance Review.

There shall not be a specific limit to the number or location of pure art murals.

## **Roof Mounted Signs**

A roof-mounted sign shall be defined as any sign affixed to and projecting above the roof of a building. The standards below shall govern all roof-mounted signs within the Packing District PD.

1. Locational Standards
  - a. The number of roof-mounted signs shall be limited to one per building.
  - b. If a roof-mounted sign is oriented to a particular face of the building no other building identification sign or high rise sign may be located on the same building face.
  - c. No roof-mounted sign shall overhang beyond the exterior walls of a building.
  - d. Any roof-mounted sign within 500 feet of a single family residential zone shall face away from said zone.
2. Dimensional Standards.
  - a. The max height of a roof-mounted sign shall be 20

feet, as measured from the base of the sign or support structure to the top of the tallest element of the sign or support structure.

- b. The maximum sign area shall be 200 square feet and shall be calculated as the area enclosing all copy, logos, and architectural elements, not including the support structure.

### 3. Design Standards.

- a. Roof-mounted signs shall incorporate no more than three different colors (including support structure). White and black shall be considered colors.

- b. The number of font styles shall be limited to two.

- c. No roof-mounted sign shall incorporate digital screens or video components.

- d. Roof-mounted signs shall be static and shall not incorporate movement.

- e. Changeable message signs are prohibited.

- f. The design of any sign support structure shall be consistent with the architectural style of the building and complementary to the overall design of the sign.

- g. The background of any roof-mounted sign shall be solid colors and graphical elements only and may not incorporate images.

### 4. Lighting.

- a. Roof-mounted signs shall not be backlit.

- b. Light boxes (internally illuminated cabinets) shall not be allowed, although internally lit channel letters shall be allowed.

- c. Indirect lighting sources shall not be visible from adjacent rights of way or adjacent residential zoning districts.

- d. Transformers, raceways, and other electrical components shall be concealed from view from streets or public areas.

### 5. Off-site signage.

- a. Roof-mounted signs shall not incorporate off-site or non-Packing District related signage.

### 6. Painted-on Roof Signs

- a. A Painted-on Roof Sign shall be defined as a sign painted on a buildings’ roof surface that faces the sky and is intended to be viewed from above.

- b. The number of painted-on roof signs allowed within

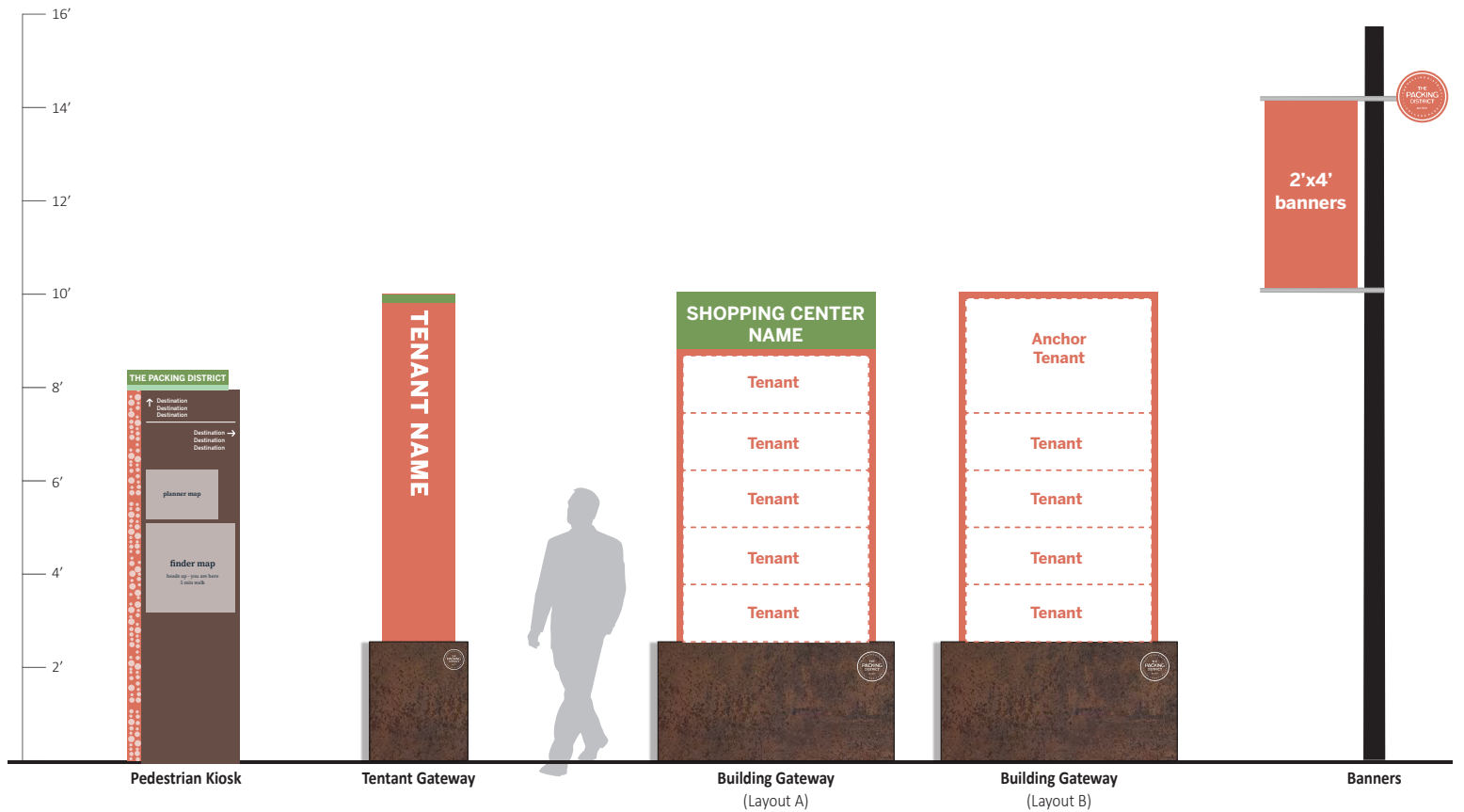
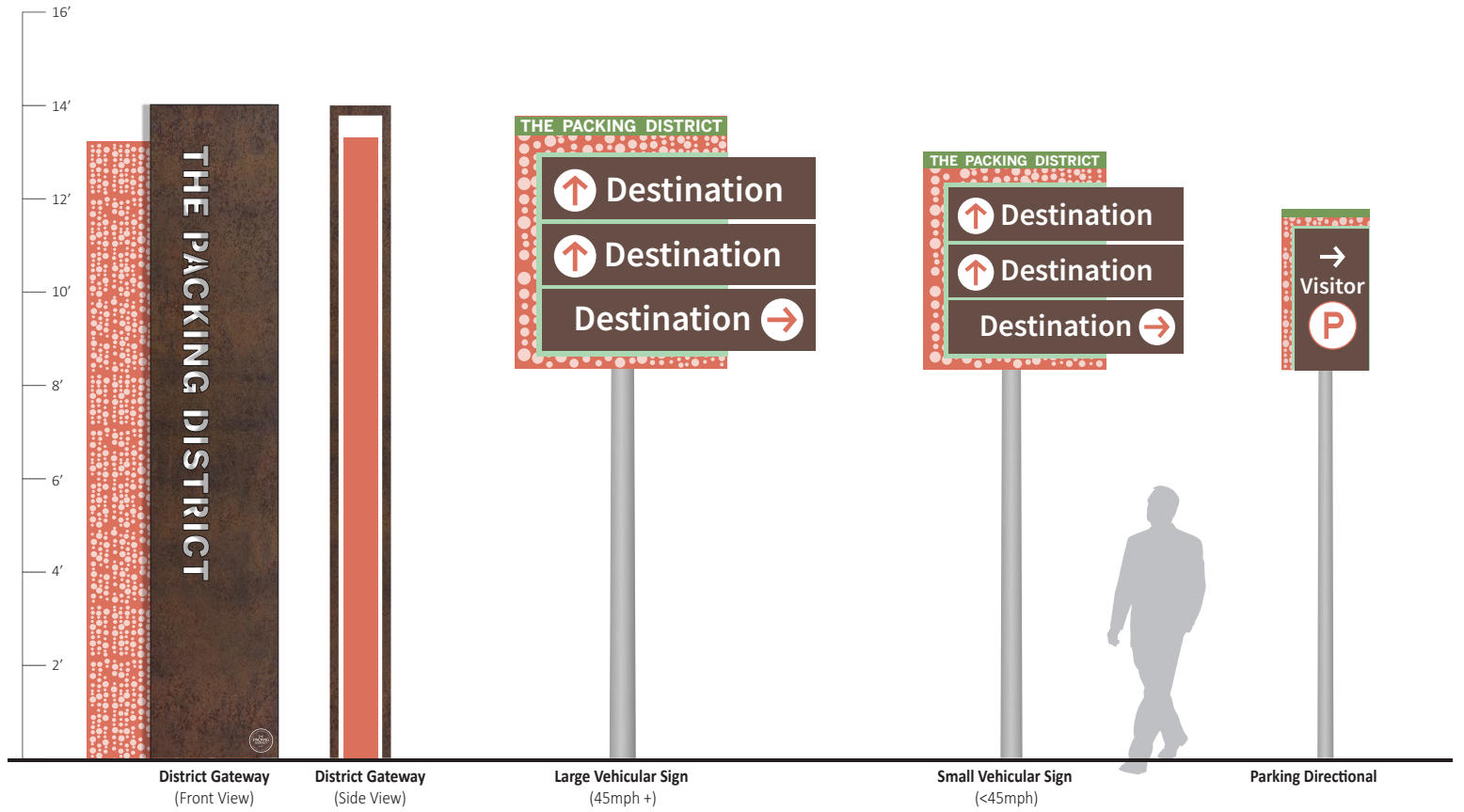
the district shall be limited to two.

c. Painted-on roof signs shall have no maximum copy area.

### **District Wayfinding Sign Types**

The following pages outline the design and dimensions of the range of sign types approved within this Sign Plan. The Sign Types are accompanied by maps showing the general locations of these signs by type.






# Sign Types

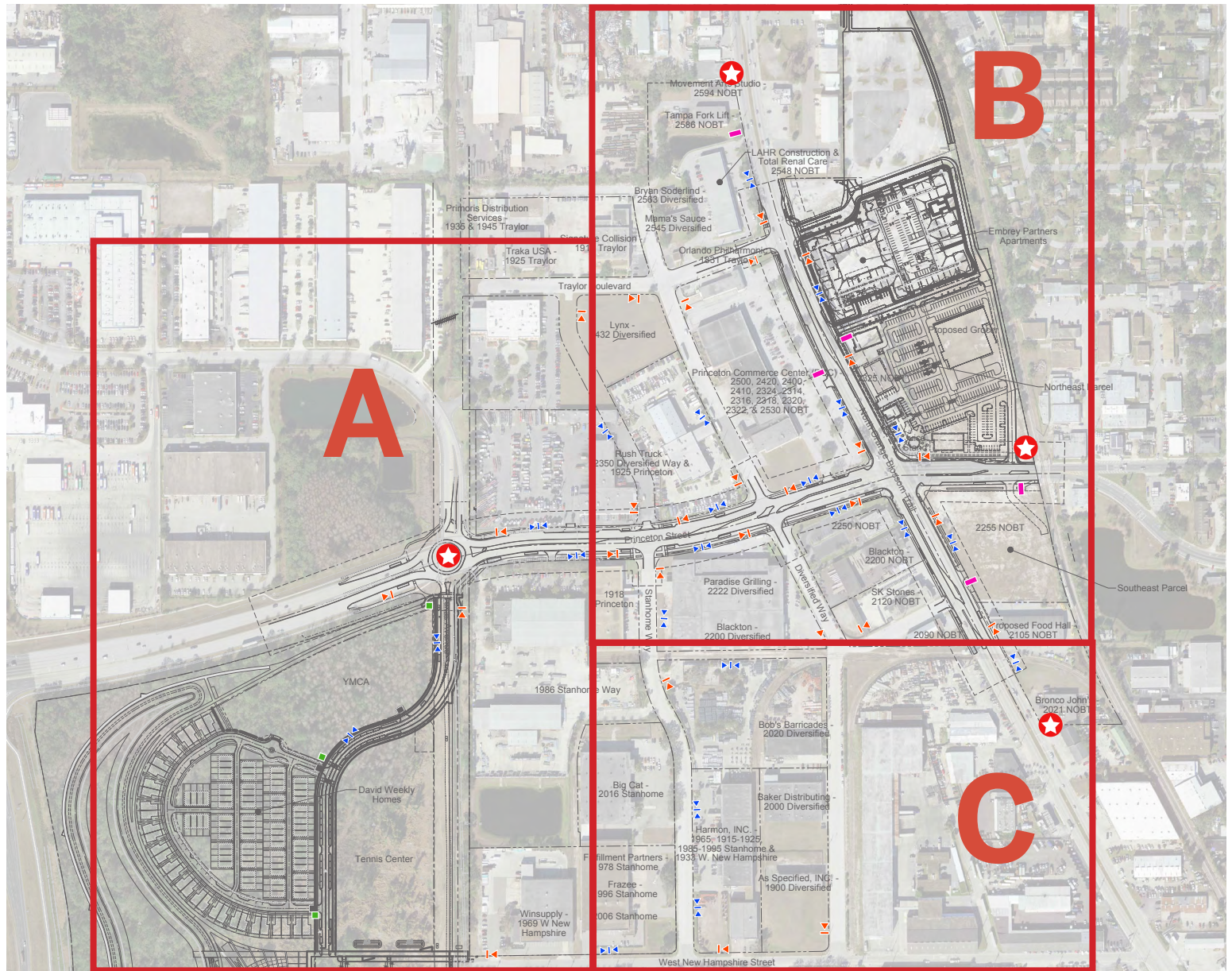




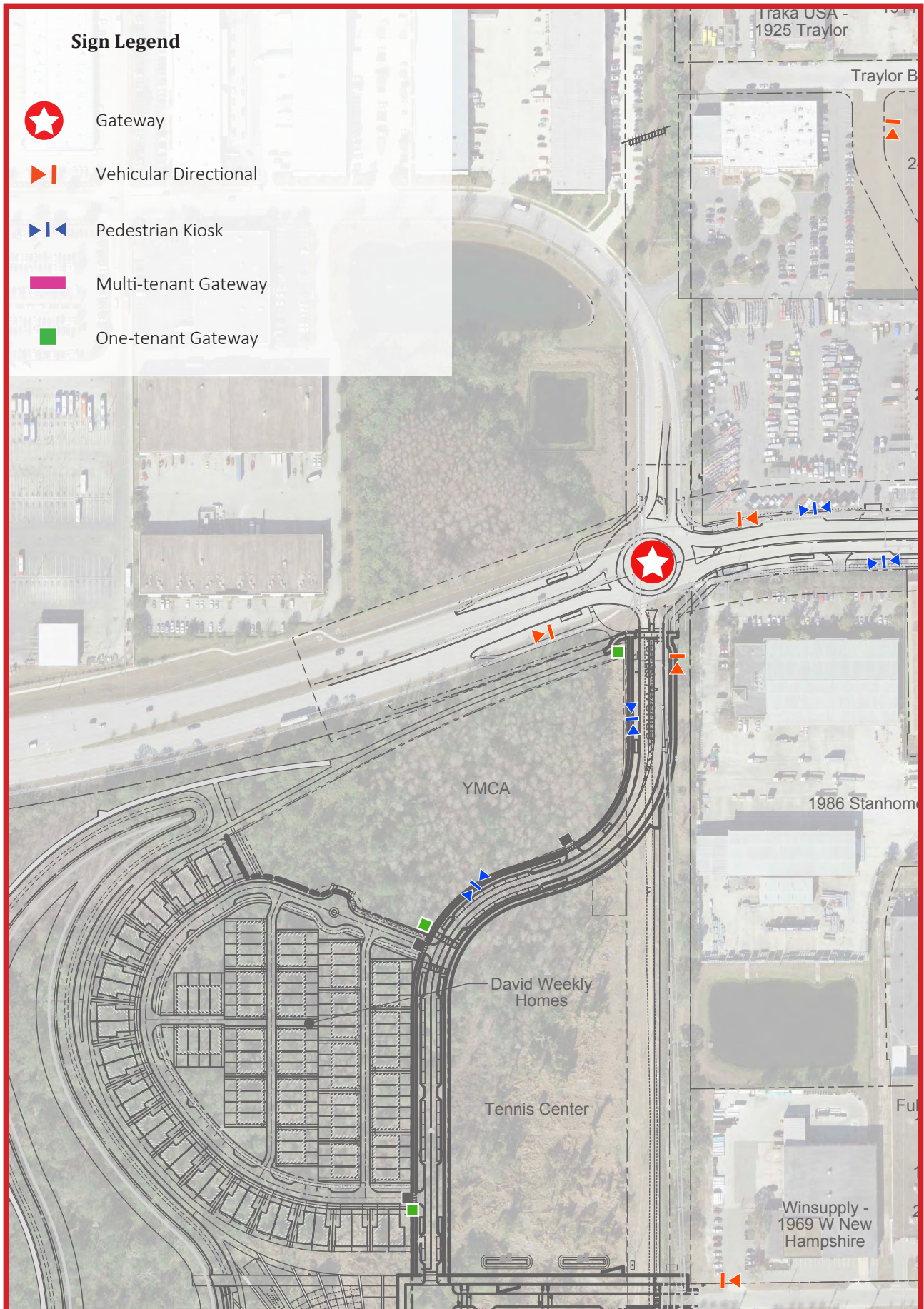
# Sign Locations - Proposed Wayfinding Signs - Overview

## Sign Legend

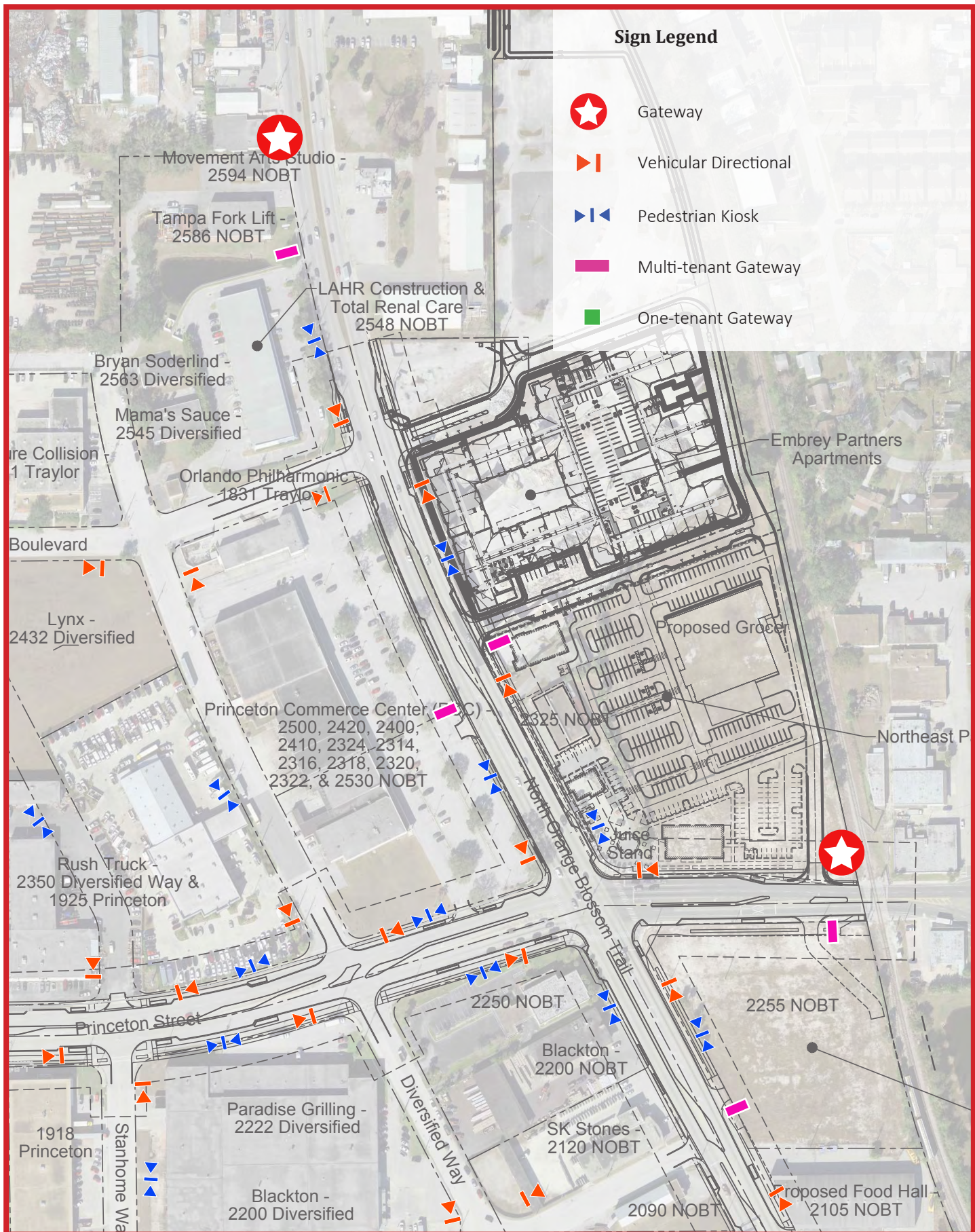
-  Gateway
-  Vehicular Directional
-  Pedestrian Kiosk
-  Multi-tenant Gateway
-  One-tenant Gateway



# Sign Locations - Proposed Wayfinding Signs - A



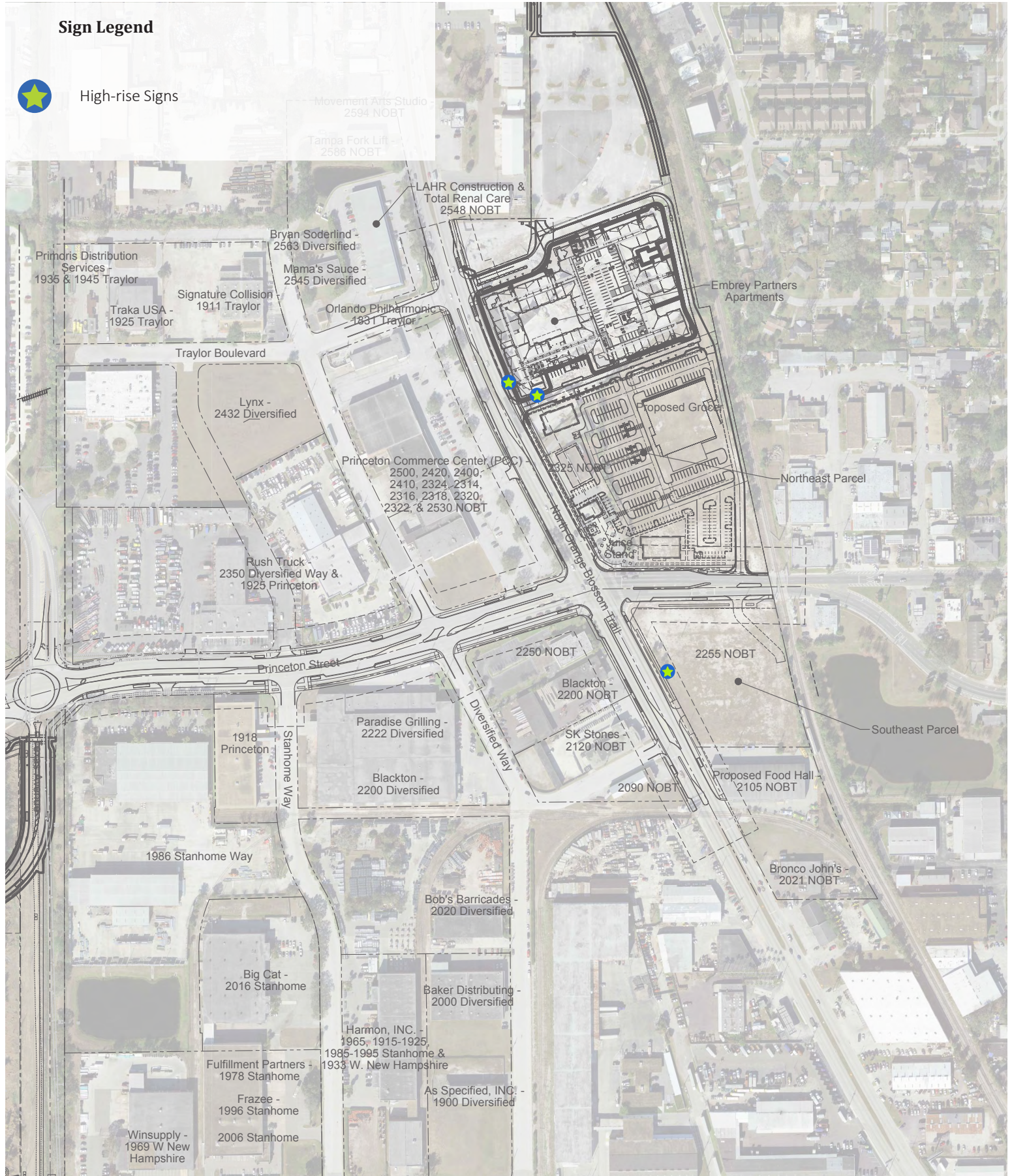
# Sign Locations - Proposed Wayfinding Signs - B



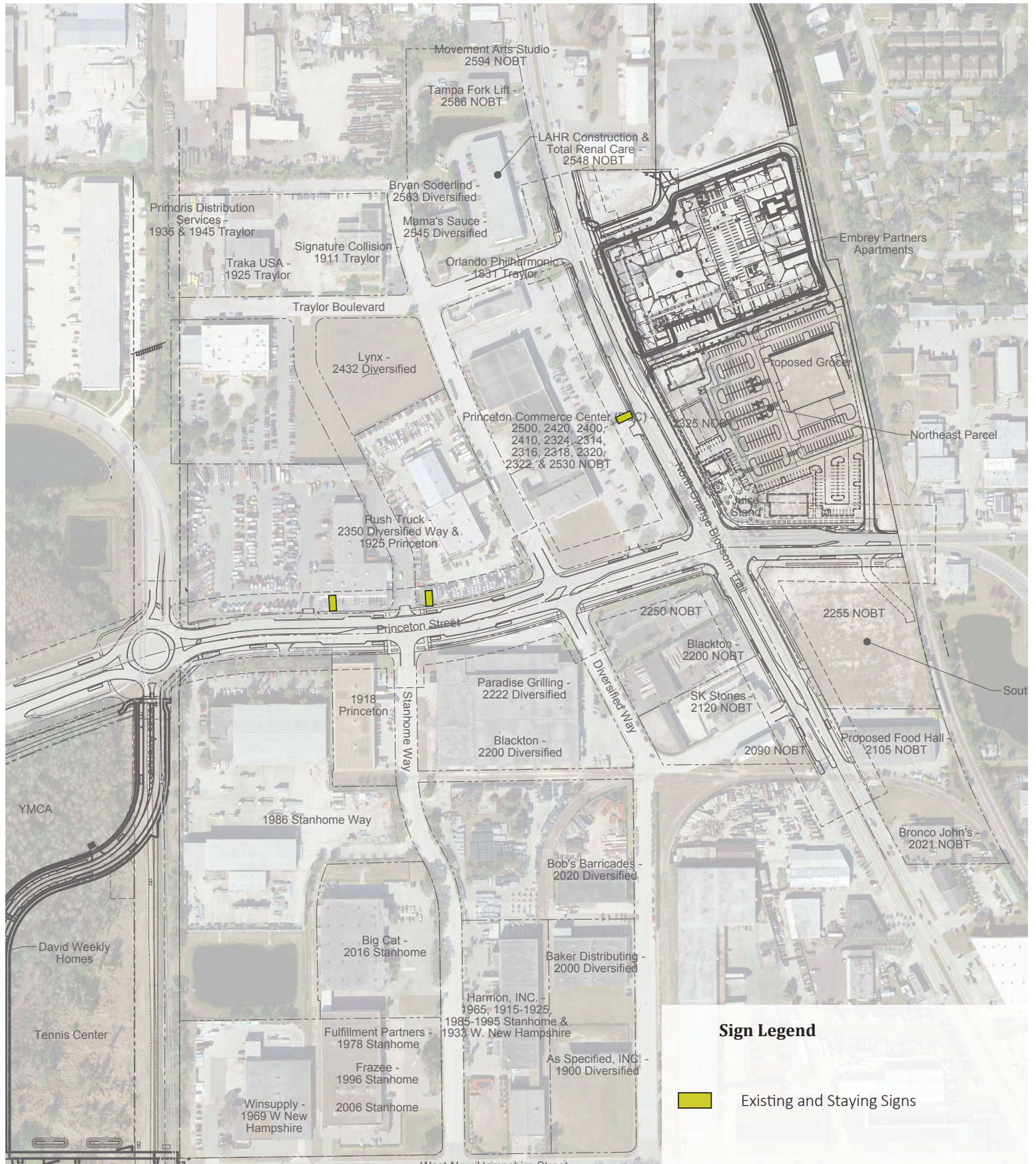
# Sign Locations - Proposed Wayfinding Signs - C



# Sign Locations - High Rise Signs

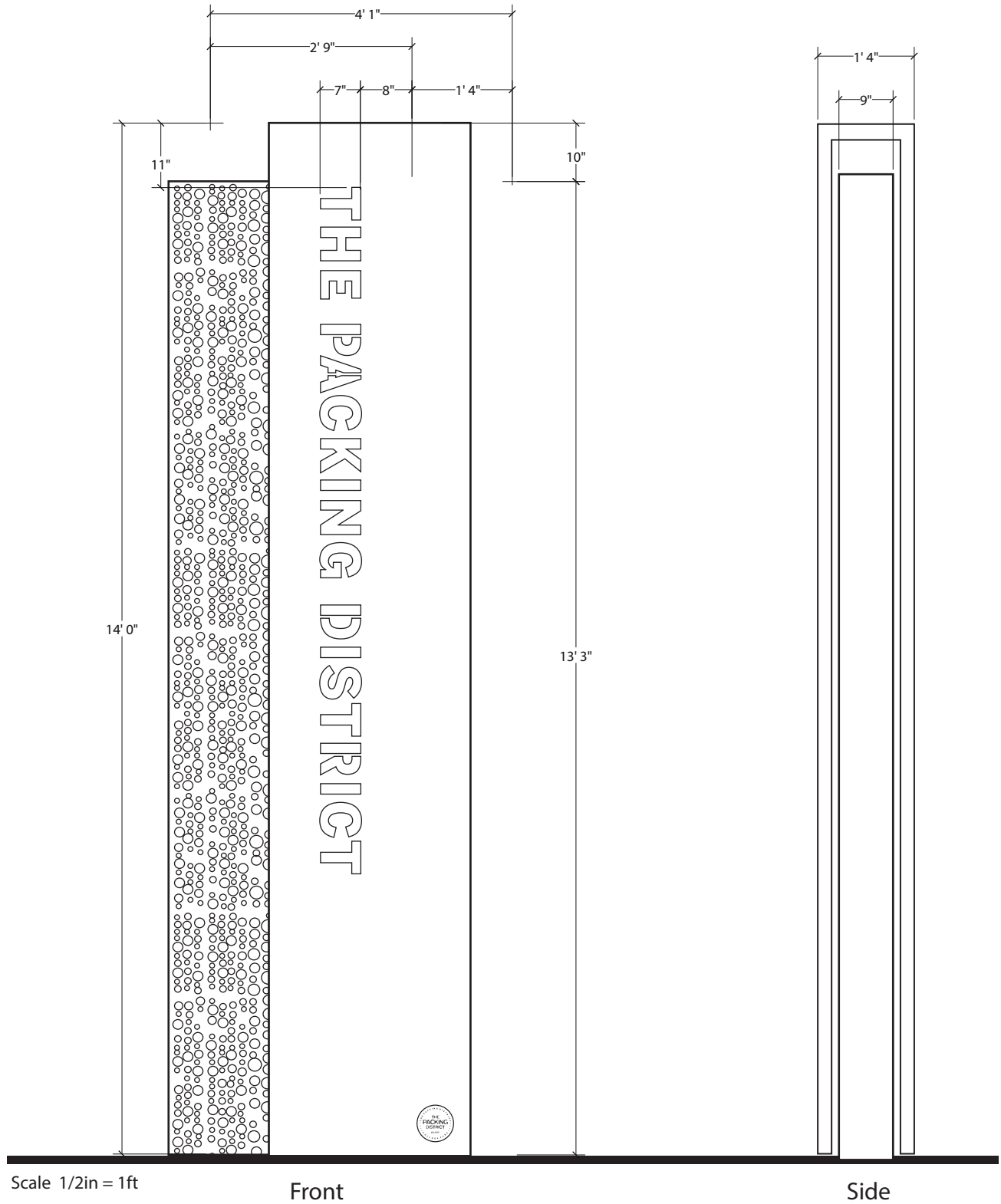


# Sign Locations - Existing Signs



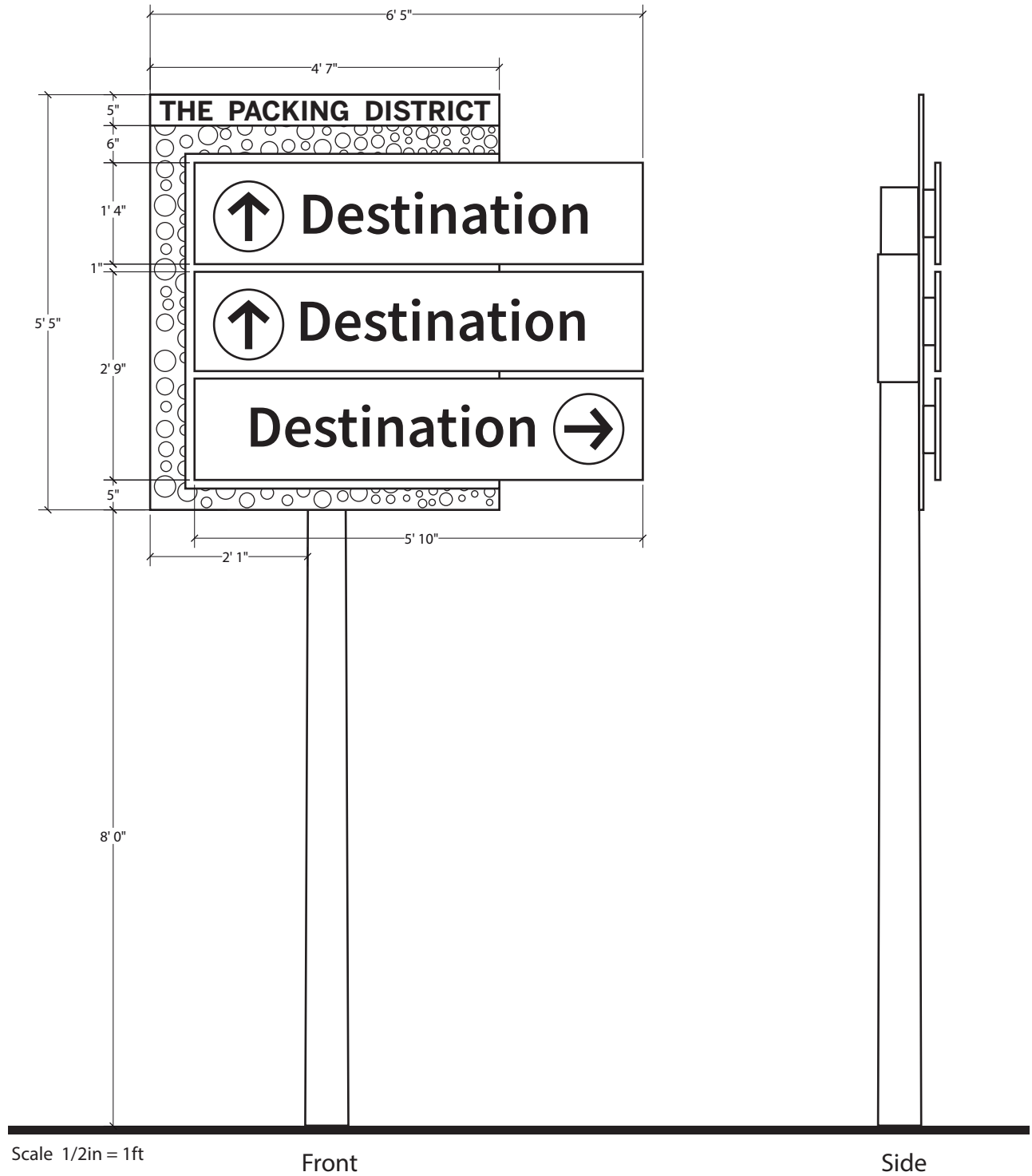
# Sign Detailed Specifications

## District Gateway



# Sign Detailed Specifications

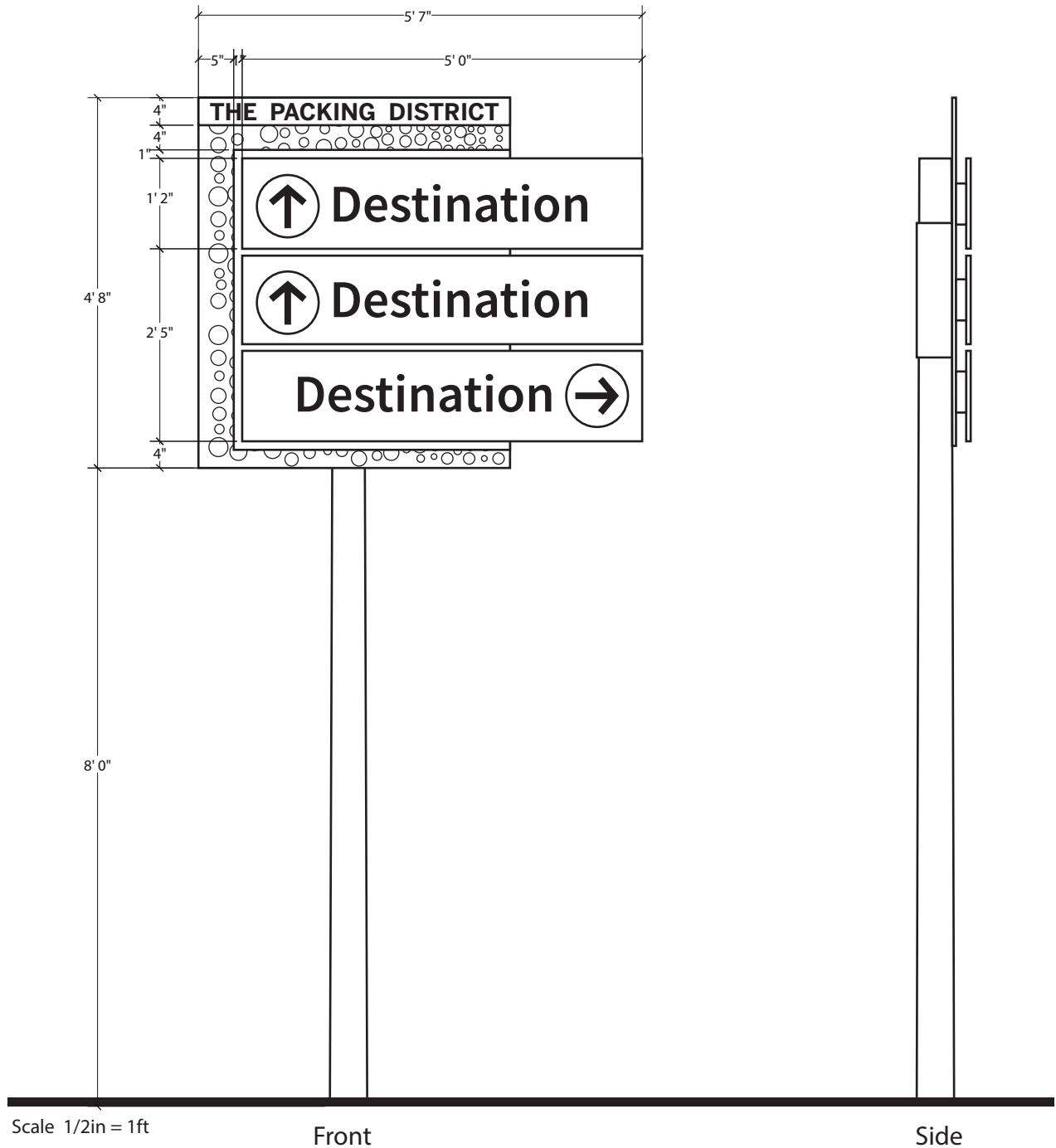
## Large Vehicular Directional





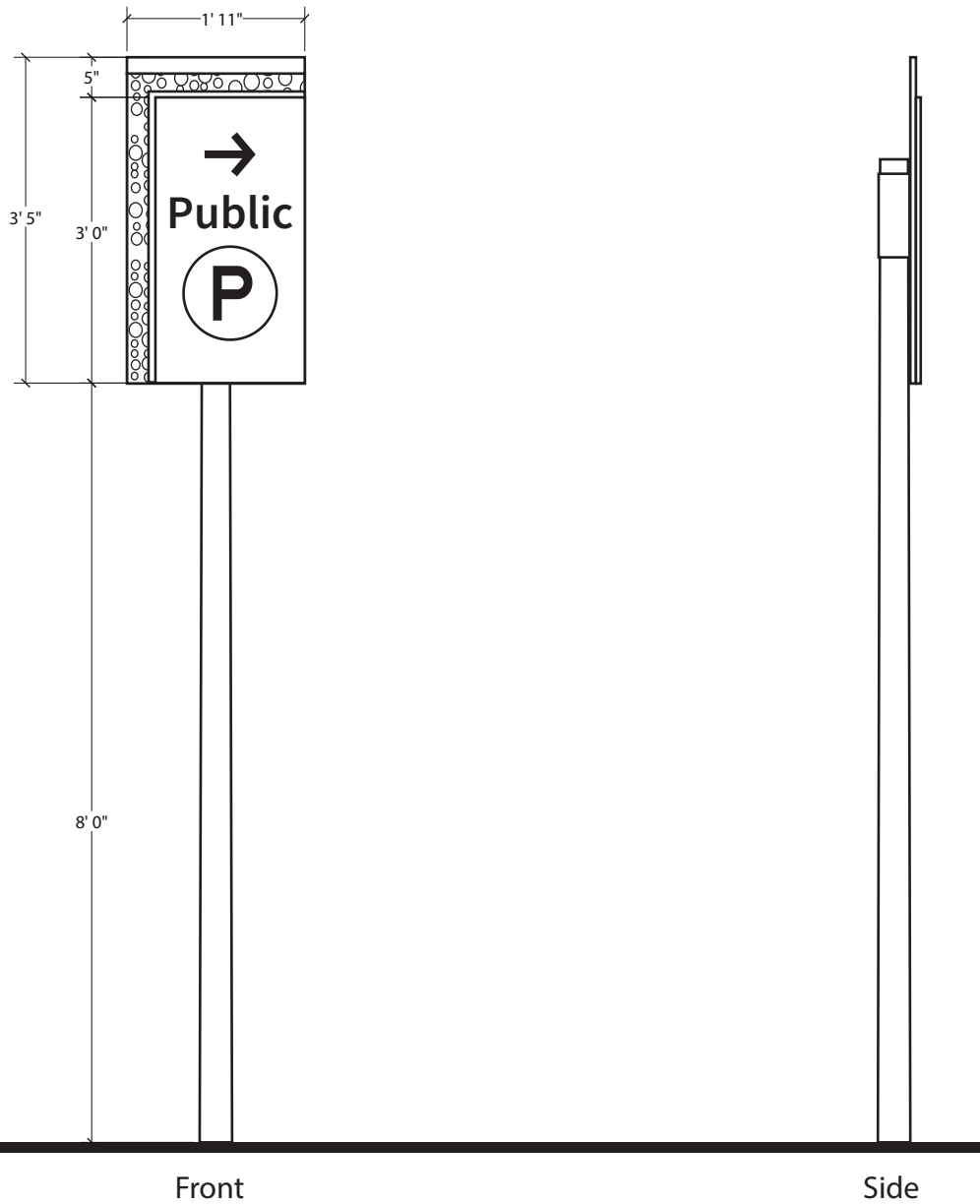
# Sign Detailed Specifications

## Small Vehicular Directional



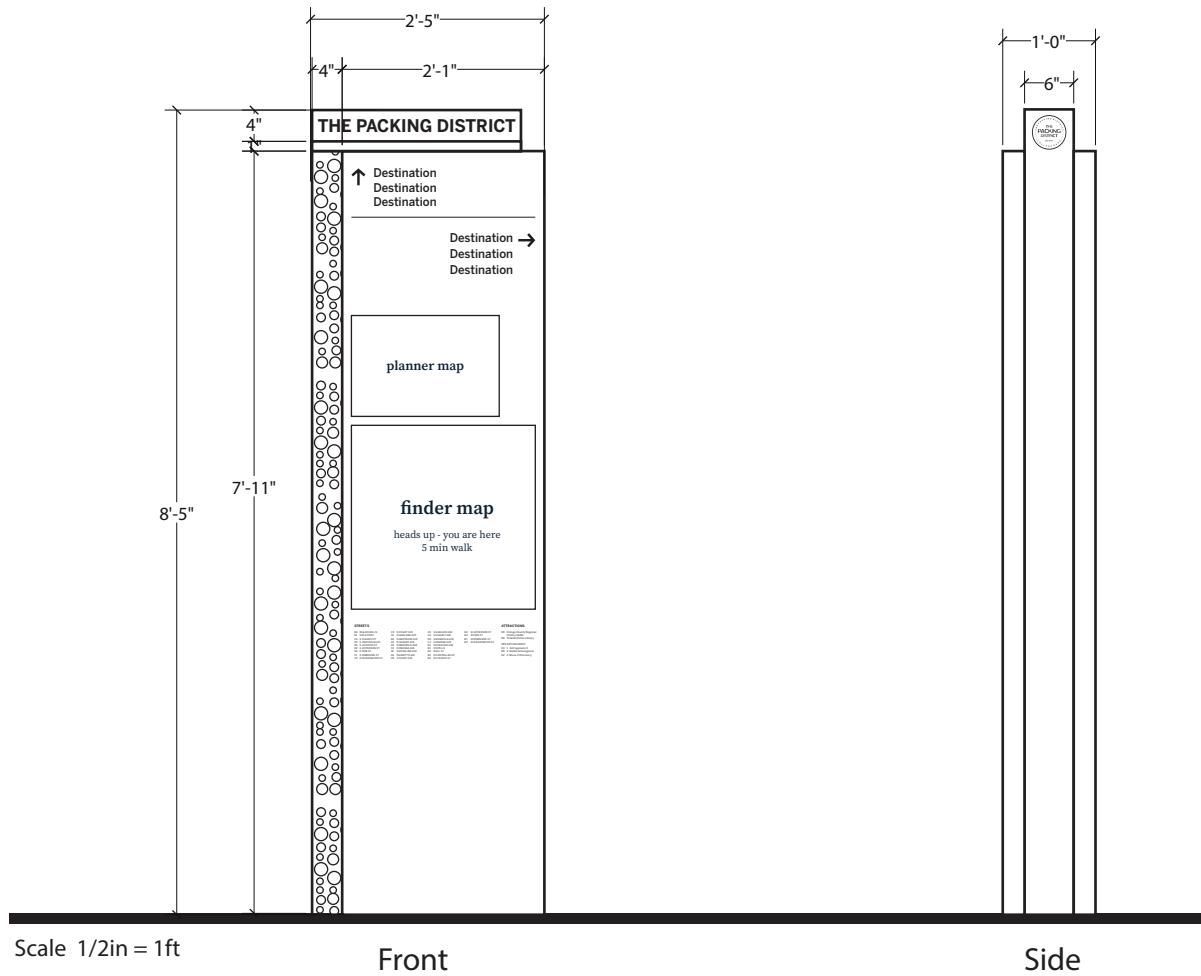
# Sign Detailed Specifications

## Parking Directional



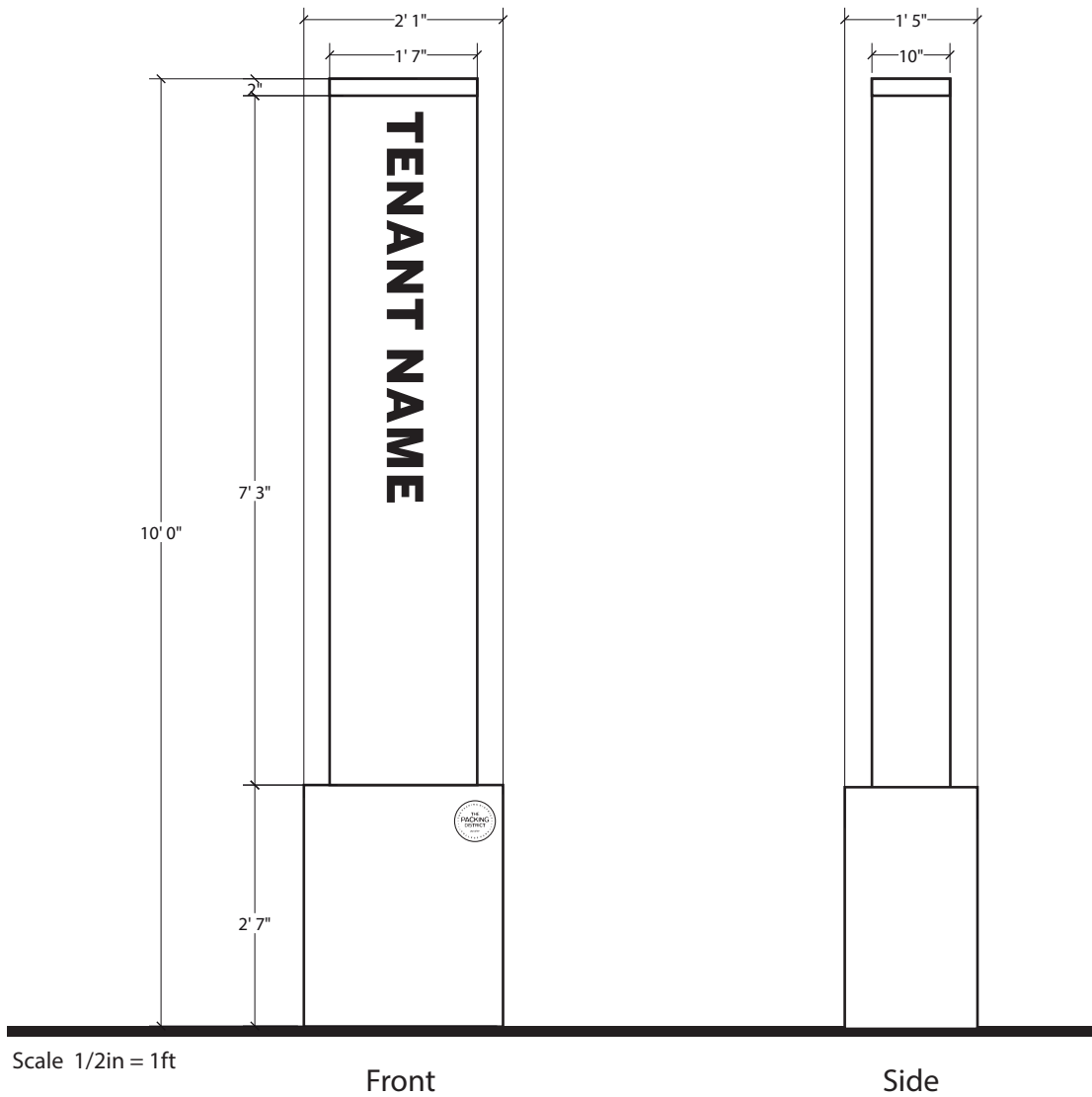
# Sign Detailed Specifications

## Pedestrian Kiosk



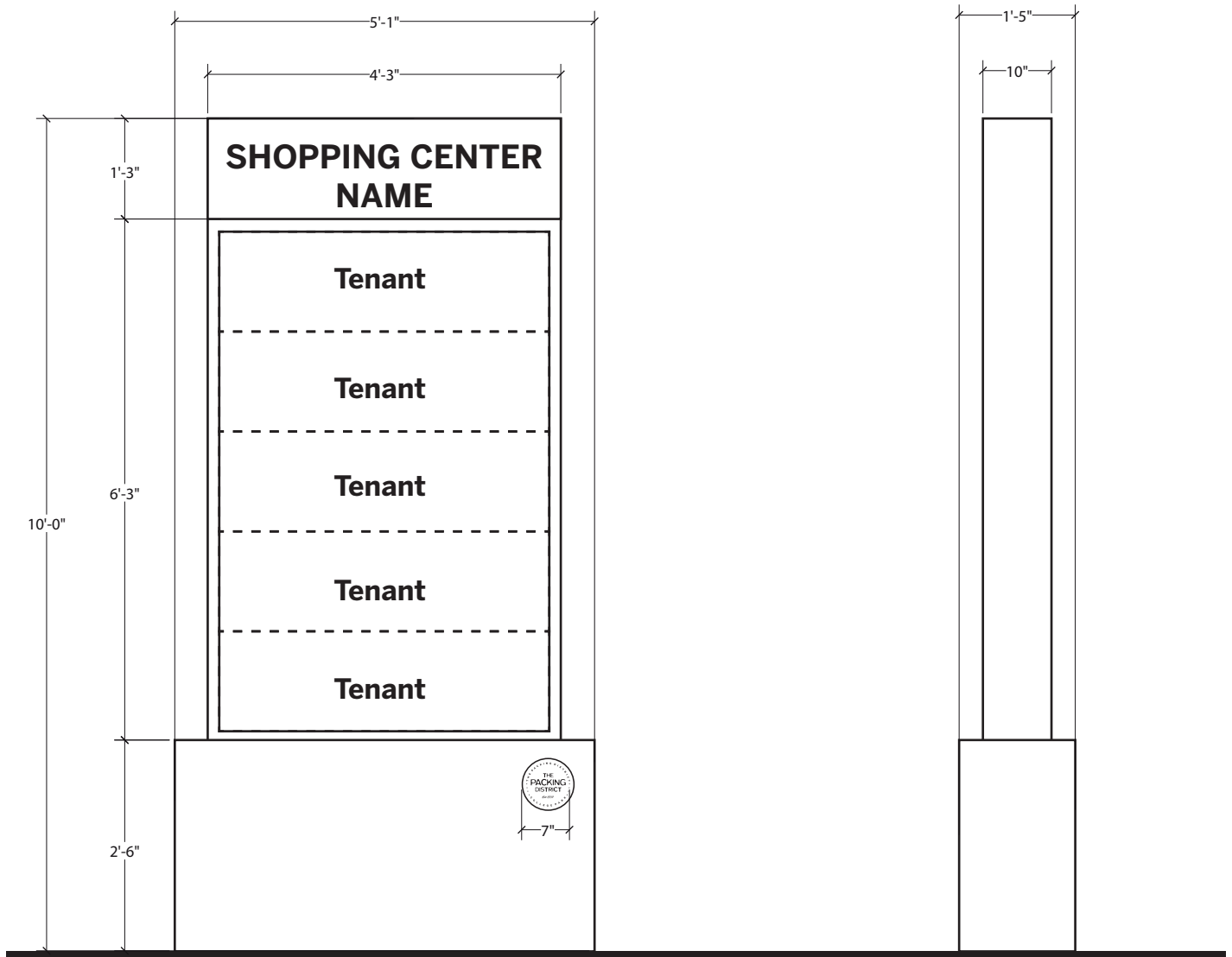
# Sign Detailed Specifications

## One Tenant Gateway



# Sign Detailed Specifications

## Building (Multi-Tenant) Gateway



Scale 1/2in = 1ft

**Building Gateway**

Front

Side

# Documentation of Other Approved Signs

# Contact

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