



7-ELEVEN #38106

MASTER PLAN

Addendum—3/17/2017

Page 2—Updated site plan

Page 3, 4—Updated elevations

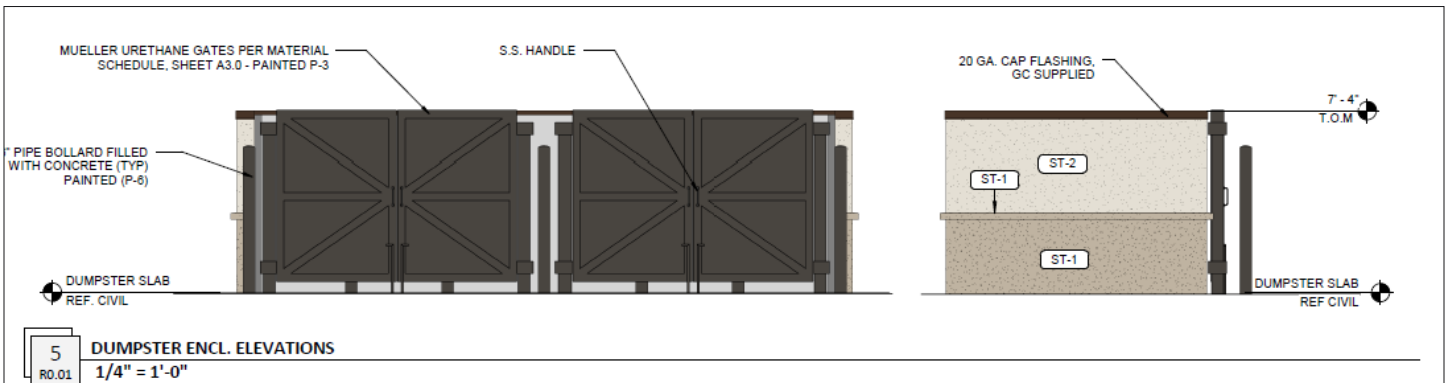
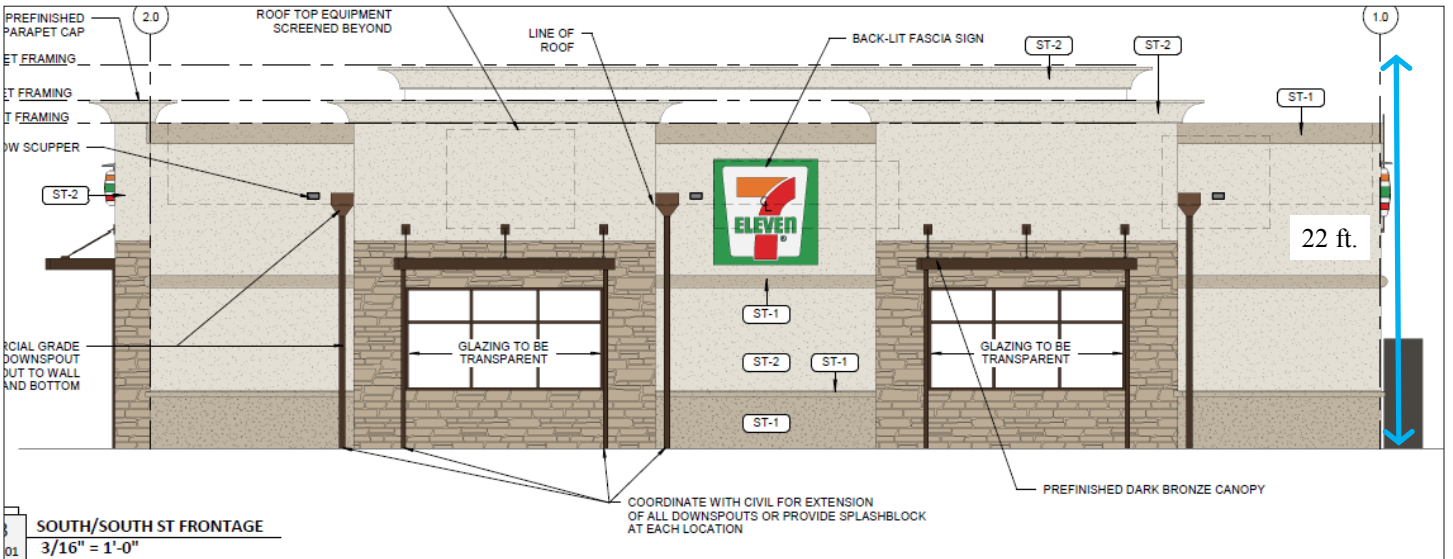
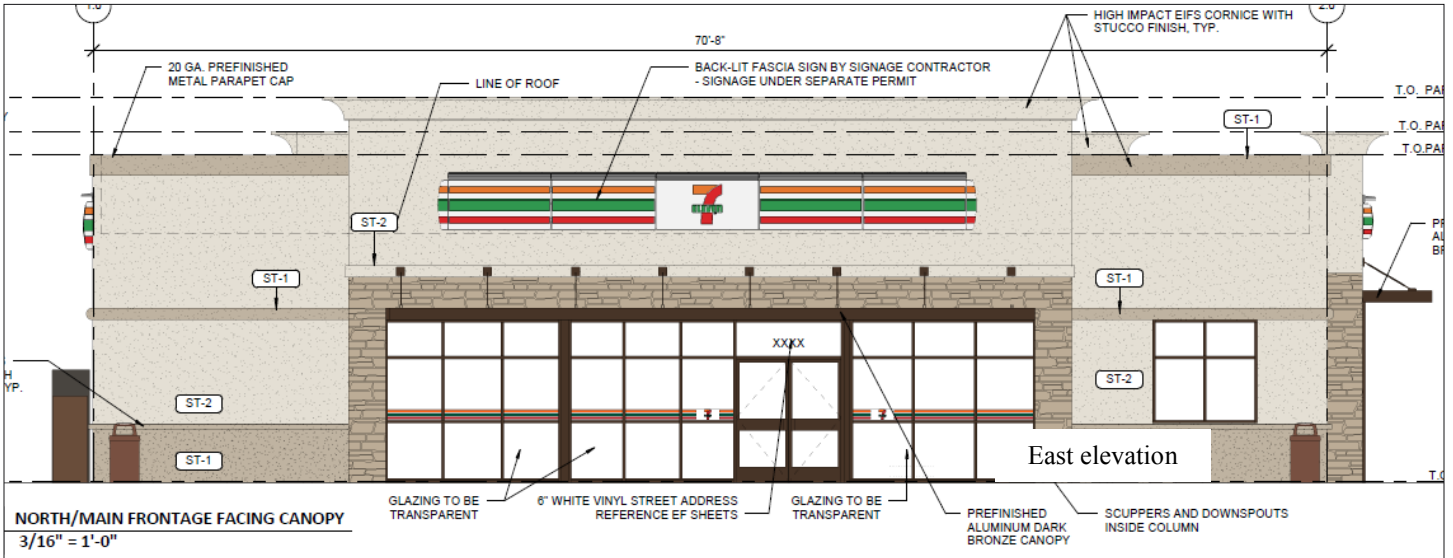
Page 5—Updated renderings of pergola

The plans above have not been assessed by City staff for compliance with the listed Conditions of approval. These plans will be assessed for compliance at the time of Final Site Plan review.

Page 6—Amending the Urban Design Condition of Approval #3 & Adding Transportation Planning Condition of Approval #4.

[illegible]

ELEVATIONS



DASHED LINES INDICATE ROOF TOP EQUIPMENT SCREENED BEYOND

FRAMING

RAMING

ST-1

ST-2

LINE OF ROOF BEYOND

PREFINISHED DARK BRONZE CANOPY

20 GA. P METAL PA

ST-1

ST-2

V-1

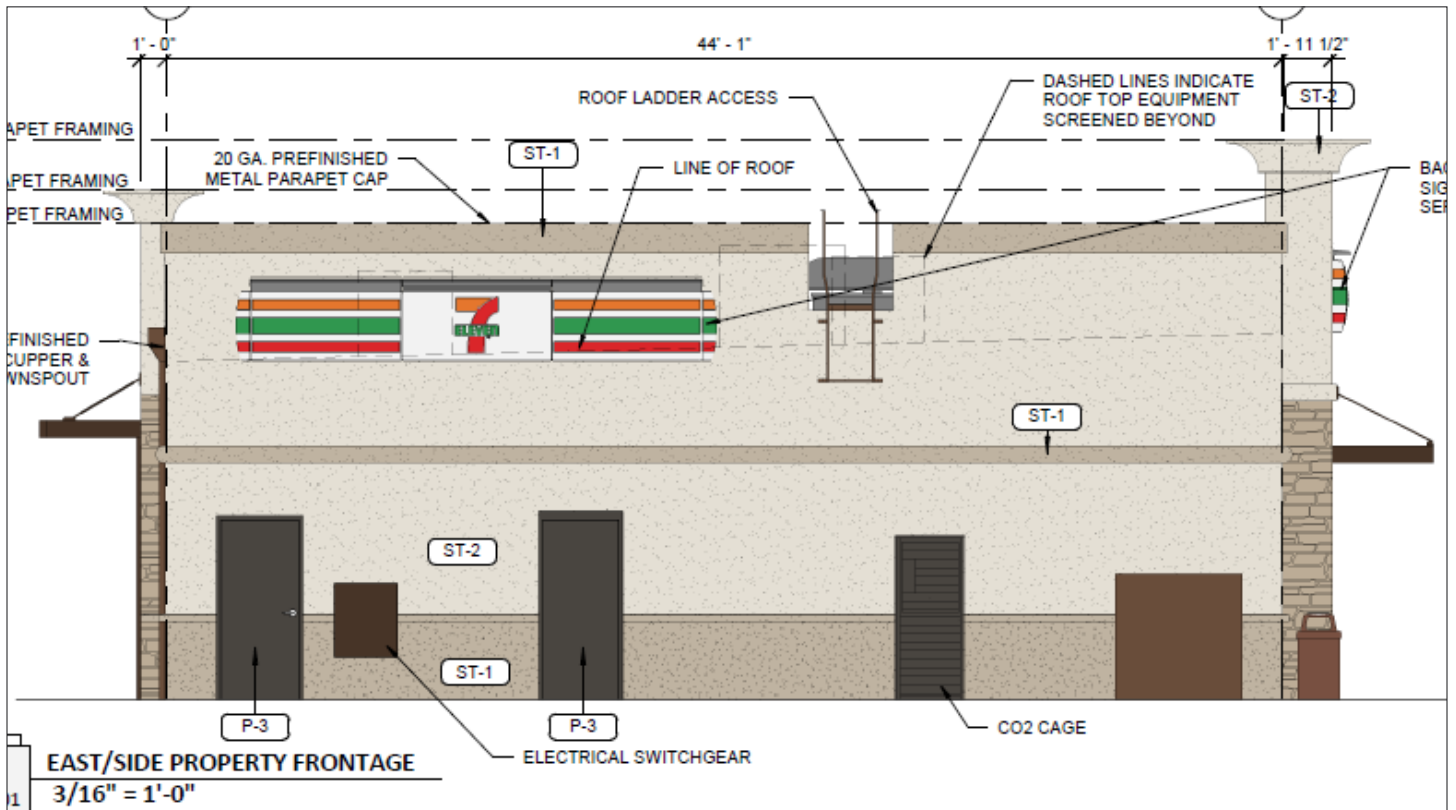
GLAZING TO BE TRANSPARENT

DARK BRONZE STOREFRONT

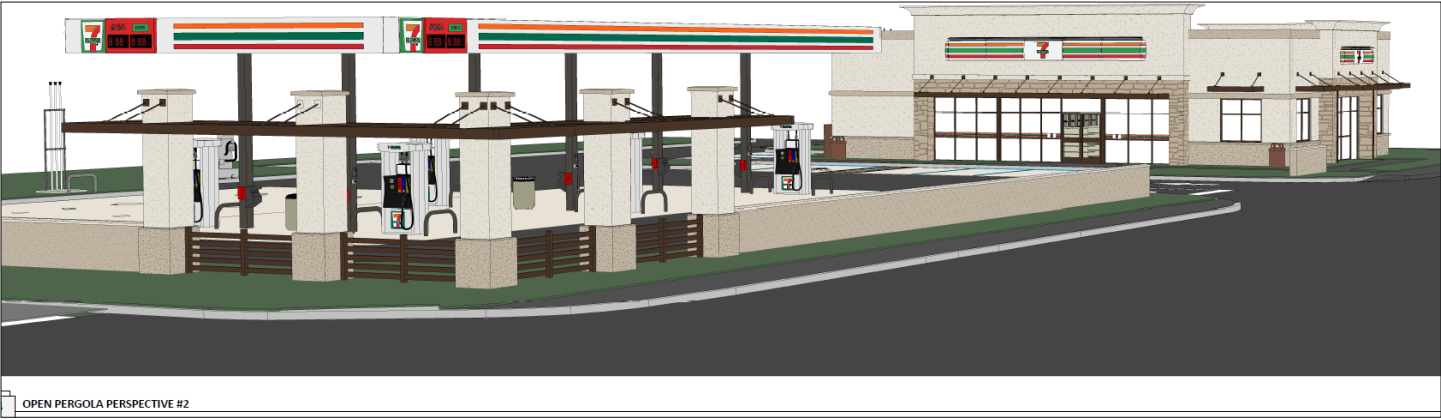
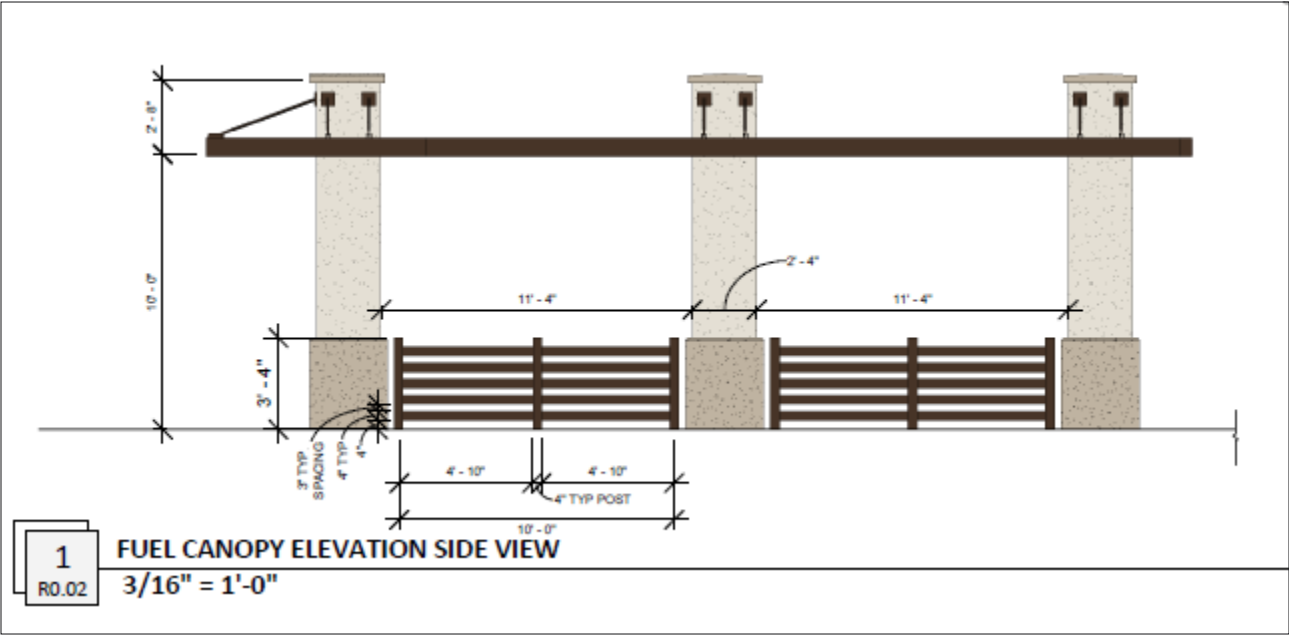
IF N STO PRO SPLU DOV

WEST/OBT FRONTAGE

3/16" = 1'-0"



CANOPY & OPEN PERGOLA ELEVATIONS



CONDITIONS OF APPROVAL(CONT.)

1. occupancy or certificate of completion is issued for the work requiring the master plan, then the master plan is no longer valid and the applicant must reapply for a master plan if the applicant wishes to proceed with a development requiring a master plan. However, the Planning Official may extend this time limit for one period of up to 12 months for good cause shown upon written application filed 30 days prior to the expiration date.
2. Disclaimer. As provided by subsection 166.033(5), Florida Statutes, issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. In accordance with subsection 166.033(5), Florida Statutes, it is hereby made a condition of this permit that all other applicable state or federal permits be obtained before commencement of the development.
3. Maximum Impervious Surface Ratio (ISR). The maximum ISR for the subject site shall be consistent with the MU-1/T/SP/PH zoning designation, 0.85.

Urban Design

1. Utilities. The transformer and grease trap should be relocated to the landscape area between the east façade of the building and the South Street entry drive.
2. Electrical. Electrical connection, meter and shut-off control box should be located on the west façade.
3. Streetwall. ~~The perimeter 36-inch tall streetwall should be continued between the pergola columns at the corner of S. Orange Blossom Trail and W. Jackson Street.~~
3. Fencing. *Install 36 in. fencing between the pergola columns at the corner of S. Orange Blossom Tr. And W. Jackson St.*
4. South Elevation. An additional downspout and scupper should be added to the west façade of the building to create a symmetrical appearance of the façade.
5. Landscape Plan. A revised landscape plan should be submitted for approval with the final site plan.

Transportation Planning

The Transportation Planning Division supports the applicant's request provided that the owner/applicant complies with the following:

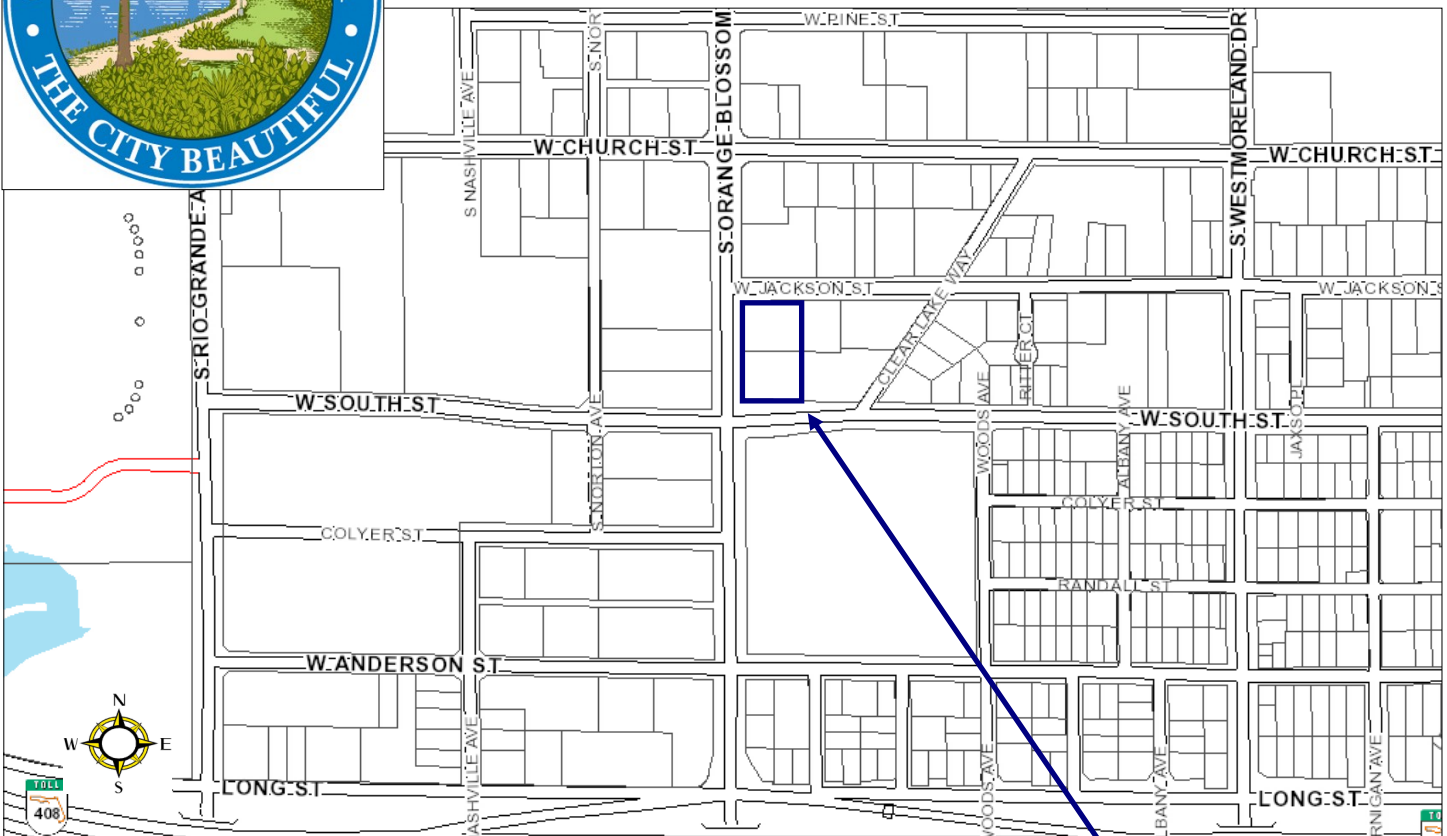
1. The final streetscape along Orange Blossom Trl must consist of a 7 ft. wide parkway for landscaping at the back of the curb, an 8 ft. wide sidewalk using paver accents to match existing, and a 3 ft. wide landscaping strip on the west side of the knee wall. This will necessitate relocating the knee wall approximately 4 ft further east of the location shown on the current submittal.
 - a. The crosswalk for the driveway must be located at the same grade as the adjacent sidewalk and clearly marked per MUTCD requirements.
 - b. The north-south segment of the on-site sidewalk along the west side of the building may be eliminated.
 - c. A City Services Easement is requested to be granted for the area from the property line to the eastern edge of the new sidewalk.
2. A 5 ft. wide sidewalk must be constructed along the property frontage on Jackson St. This should be located behind a 7 ft. wide landscaped parkway which will be adjacent to the back-of-curb.
 - a. The crosswalk for the driveway must be located at the same grade as the adjacent sidewalk and clearly marked per MUTCD requirements.
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 - a. The crosswalk for the driveway must be located at the same grade as the adjacent sidewalk and clearly marked per MUTCD requirements. This will require that the small area of sidewalk east of the proposed driveway be expanded to the property line
4. *Adjustments of the required sidewalks to accommodate existing utilities and power poles along Jackson St., Orange Blossom Tr., and South St. shall be coordinated with City Staff.*

Transportation Engineering

1. A 10'x10' Sidewalk and City Services easement must be provided on the NE corner of South St & Orange Blossom Trl. and on the SE corner of Jackson St & Orange Blossom Trl. The existing sidewalk ramp must be expanded within the easement to allow for adequate pedestrian circulation.
2. A sidewalk connection must be constructed to the South St right-of-way.
3. Parking lot and parking space dimensions must comply with Orlando LDC and ESM.
4. On-site sidewalks must be a minimum of 5' wide when adjacent to drive aisles and 6' wide when adjacent to parking stalls unless wheel stops are used.



7-ELEVEN #38106 MASTER PLAN



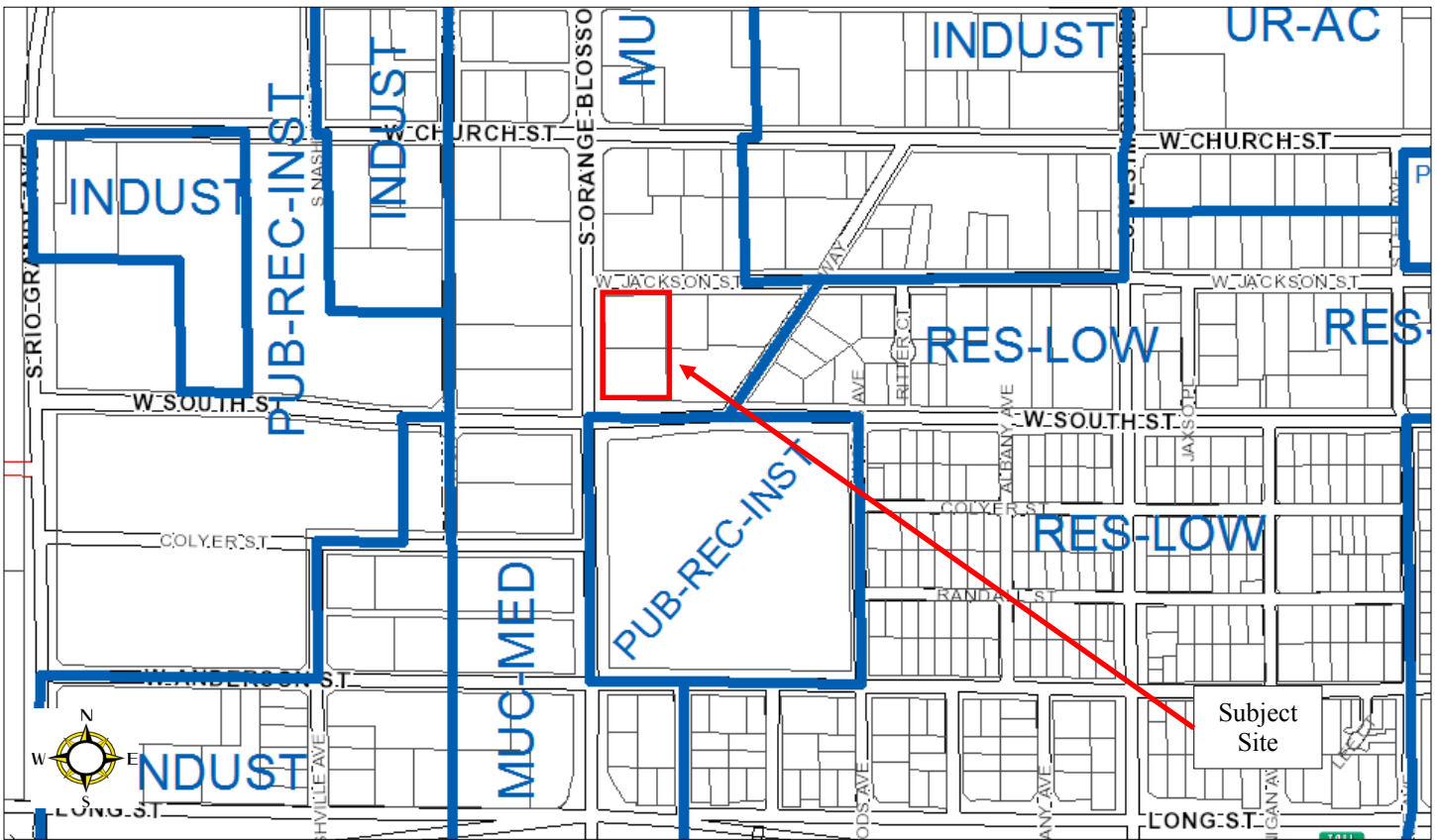
Location Map

 Subject Site

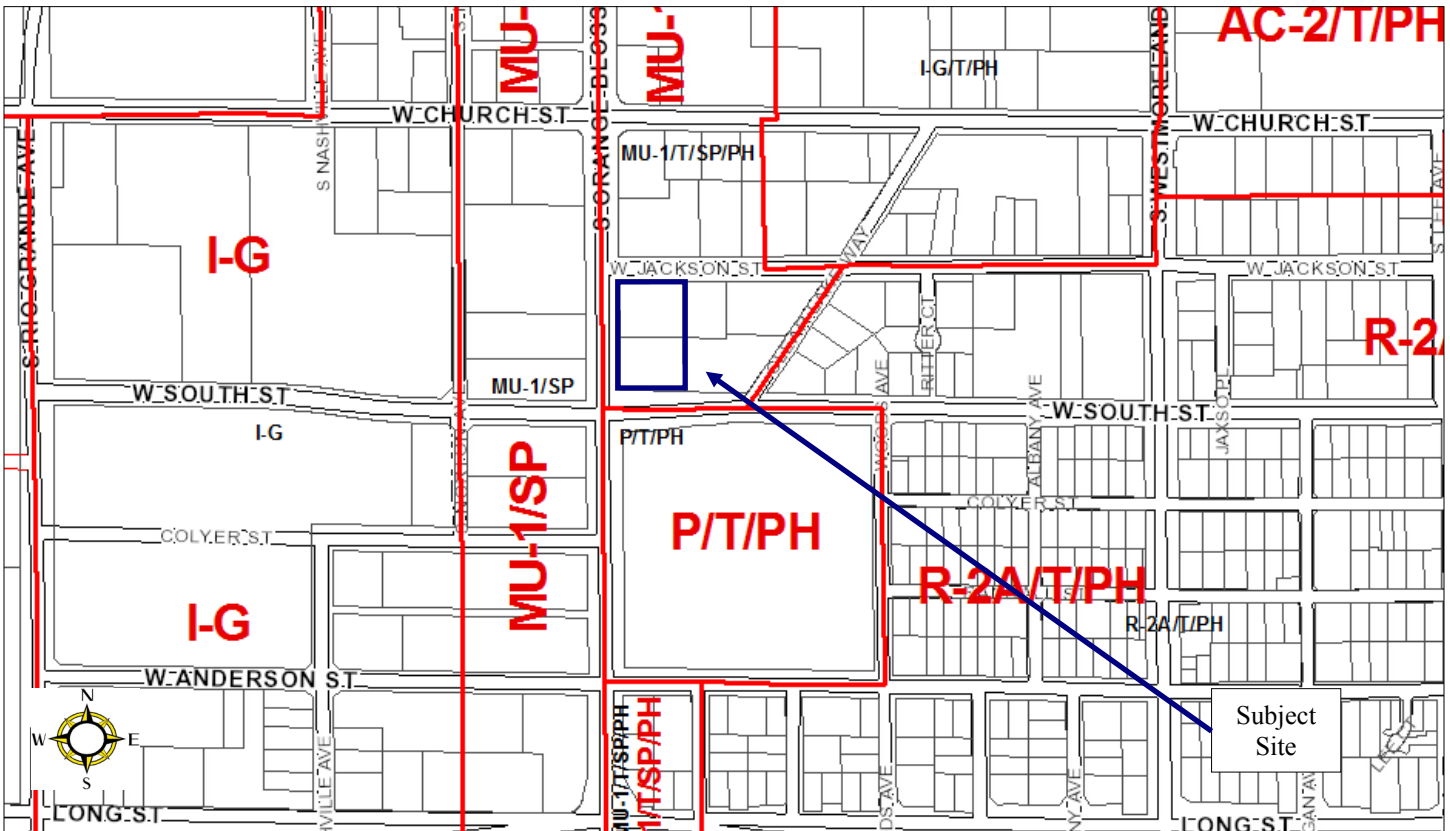
SUMMARY

<p>Applicant Grayson Brent Evans</p> <p>Owner Astro Universal LLC</p> <p>Project Planner Katy Magruder</p> <p>Updated: March 17, 2017</p>	<p>Property Location: 301 & 315 S. Orange Blossom Trail — Parcel IDs 27-22-29-0000-00-047 & 27-22-29-0000-00-068 — (south of W. Jackson St., west of Clear Lake Way, east of S. Orange Blossom Tr., and north of W. South St.), 0.87 acres, District 5.</p> <p>Applicant's Request: Master Plan request for the development of a 7-Eleven gas station and convenient store</p>	<p>Staff's Recommendation: Approval of the request, subject to the conditions in this report.</p> <p>Public Comment Courtesy notices were mailed to property owners within 300 ft. of the subject property during the week of March 6, 2017. As of the published date of this report, staff has received no inquiries from the public.</p>
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EXISTING FUTURE LAND USE MAP



EXISTING ZONING MAP



PROJECT ANALYSIS

Project Description

Located in Parramore Neighborhood, the +/-0.875 ac. subject property is generally located south of W. Jackson St., north of W. South St., east of S. Orange Blossom Tl., and west of Clear Lake Way. The site, comprised of two parcels, is addressed as 301 and 315 S. Orange Blossom Trail. The applicant is requesting to demolish the existing structures on site to allow the development of a 3,010 sq. ft. 7-eleven gas station with 6 fueling stations, parking, and associated improvements.

The site has a Future Land Use designation of Mixed Use Corridor Medium Intensity and a zoning designation of MU-1/T/SP/PH (Medium Intensity Mixed Use Corridor in the Traditional City, Orange Blossom Trail Special Plan, and Parramore Heritage Overlay districts). The proposal is consistent with the Zoning and Future Land Use designations.

Previous Actions:

- 1950—Warehouse building (3,654 sq. ft.) constructed at 315 S. Orange Blossom Trail.
- 1951—Warehouse building (2,377 sq. ft.) constructed at 301 S. Orange Blossom Trail.

Project Context

Each of the two lots is currently developed with auto repair centers. The proposal includes the demolition of these auto repair shops to develop the gas station and convenience store. Surrounding uses, zoning, and future land uses are shown in Table 1 below.

Table 1—Project Context			
	Future Land Use	Zoning	Surrounding Use
North	Mixed Use Corridor Medium Intensity (MUC-MED)	MU-1/T/SP/PH (Medium Intensity Mixed Use Corridor in the Traditional City, Orange Blossom Trail Special Plan, and Parramore Heritage Overlays)	Vehicle Repair Center
South	Public—Recreational—Institutional (PUB-REC-INST)	P/T/PH (Public in the Traditional City and Parramore Heritage Overlays)	Orlando Police Department's New Headquarters
East	Mixed Use Corridor Medium Intensity (MUC-MED)	MU-1/T/SP/PH (Medium Intensity Mixed Use Corridor in the Traditional City, Orange Blossom Trail Special Plan, and Parramore Heritage Overlays)	Furniture Kingdom
West	Mixed Use Corridor Medium Intensity (MUC-MED)	MU-1/SP (Medium Intensity Mixed Use Corridor in the Orange Blossom Trail Special Plan Overlay)	Multi-tenant Retail

Conformance with the GMP

Surrounding uses include intensive retail to the north, vacant public, recreational and institutional (institutional) land to the south, warehousing to the east and retail as well as public recreational institutional (church) uses to the west. The site is developed with commercial and car repair services. Surrounding future land use includes Mixed-Use Corridor- Medium Intensity to the north, east and west and Public, Recreational and Institutional to the south. Associated zoning includes MU-1 with the Traditional City (/T), Orange Blossom Trail (/SP) and Parramore Heritage (/PH) overlays to the north and east while to the west is MU-1/SP, while to the south is Public (P), with Traditional City (T) and Parramore Heritage (/PH) overlays. The subject site has the Mixed-Use Corridor-Medium Intensity future land use designation and associated MU-1/T/SP/PH zoning.

The proposed site is also within a number of Future Land Use Subarea Policy areas including Subareas S.6.2, S.6.3, S.6.4, S.6.9, and S.6.14. These policies generally stress the importance of improvements that will enhance the urban environment, provide neighborhood services and support the integrity of the Parramore residential districts. In particular, Future Land Use Policy S.6.3 states that: "The City's Land Development Regulations shall protect the residential integrity of the Parramore Heritage area, and increase the opportunities for appropriately located neighborhood-serving retail development." The proposed master plan will ensure that the service station with associated convenience store will be sited in a context sensitive manner which will provide neighborhood-serving uses.

The subject site has the Mixed Use Corridor-Medium Intensity future land use designation. Allowable uses include residential, of-

PROJECT ANALYSIS

fice, commercial as well as public, recreational and institutional. The proposed use is allowed.

Conformance with the LDC

The development site has an existing zoning designation of MU-1/T/SP/PH (Medium Intensity Mixed Use Corridor in the Traditional City, Orange Blossom Trail Special Plan, and Parramore Heritage Overlay districts). The ‘MU-1’ district is intended to provide for areas of mixed residential and office uses extending along and oriented to arterial and four (4) lane collectors, at intensities compatible with adjacent neighborhoods.

The Traditional City Overlay District (T) is intended to establish urban design standards to perpetuate the positive design elements and the residential and commercial development patterns found within the Traditional City. The traditional City shall be defined by recognizable geographic boundaries of subdivisions platted prior to World War II in which there is a concentration of the positive design elements as defined in Urban Design Goal 1.

The Orange Blossom Trail Special Plan’s (SP) purpose is to encourage appropriate redevelopment and revitalization of properties in this area by allowing the existing wide variety of land uses to continue.

The purpose of the Parramore Heritage Overlay District (PH) is to promote the stability and prosperity of the Parramore Heritage neighborhood by reducing the over-concentration of social service uses within the district.

Development Standards:

The applicant proposes to construct a gas station and a 3,010 sq. ft. convenience store on the two parcels. The MU-1/T/SP/PH zoning district has a maximum FAR of 0.5 and has no minimum requirement. The proposed FAR is approximately 0.08. The maximum impervious surface ratio is 0.85, which the proposed development will meet with a proposed ISR of 0.71. The proposal is also compliant with maximum height requirements. See Table 2 Development Standards for additional information.

Table 2—Development Standards (MU-1/T/SP/PH)								
Acres	Use	Sq. Ft.	FAR (floor area ratio)		Building Height		ISR (impervious surface ratio)	
			Minimum / Maximum	Proposed	Maximum	Proposed	Maximum	Proposed
0.87	Gas Station & Convenience Store	152,166 sf	No min/0.5 FAR	0.08 FAR	35 ft.	18.66 ft.	0.85	0.71

The underlying MU-1/T zoning district has a minimum 0 ft. or 3 ft. side setback and the Traditional City Overlay has a maximum setback of 25 ft. The front setback in MU-1/T is dictated per Section 62.208 of the Traditional City Design Guidelines. *Designation of Streets in Mixed Use Corridor Districts* states that, “Development in Traditional City mixed-use corridor districts shall be pedestrian-oriented with buildings close to and oriented to the street and vehicular use areas located to the side or rear of buildings. Certain design standards in this section apply only to the parts of a building oriented toward a street. All streets in these districts are designated either Main Streets or Town Streets.”

Orange Blossom Trail is not listed as a Main Street and therefore falls under the Town Streets guidelines for a maximum front yard setback of 15 ft. The subject property is unique in that the combination of the two parcels renders three street frontages. All three streets fall under the Town Streets portion of Section 62.608 and therefore have a maximum setback requirement of 15 ft. The convenience store is proposed at the southwest corner of the site at the intersection of S. Orange Blossom Trail and South St., meeting the maximum setback requirements from each of those frontages. Staff and the applicant worked closely to creatively meet the maximum setback requirement of 15 ft. from Jackson St. to the north by designing an architectural addition in the form of an open pergola to meet the spirit and intent of the Code. The rear yard setback is 20 ft. and is met with this proposal. No bufferyards are required along the site perimeter. See Table 3 Setbacks for additional information on the following page.

PROJECT ANALYSIS

Table 3—Setbacks (MU-1/T/SP/PH)

Building Setbacks							
Front (S. Orange Blossom Trail)		Rear (internal)		N Side (Jackson St.)		S Side (South St.)	
Min/Max	Proposed	Min/Max	Proposed	Min/Max	Proposed	Min/Max	Proposed
0 ft./15 ft.	17.48 ft. ¹	20 ft./no max	61.25 ft.	0 ft. or 3 ft.+/ 25 ft.	15 ft.	0 ft. or 3 ft.+/ 25 ft.	15 ft.

¹ Excluding the City Services easement that will be granted for the sidewalk along S. Orange Blossom Trail, the convenience store will meet the maximum setback of 15 ft.

Transportation

The subject site is accessed via all three street frontages, S. Orange Blossom Trail, Jackson St. and South St.. All three access points will be two-way. The S. Orange Blossom Trail and South St. egresses will be right-turn only.

Parking

The principal use of this site will be a convenience store which is classified as light retail. Per LDC Section 61.322, light retail establishments must provide between the minimum of 2.5 parking spaces per 1,000 sq. ft. of GFA (gross floor area) and the maximum of 5 parking spaces per 1,000 sq. ft. of GFA. The applicant will be providing a total of 10 spaces including 1 handicapped space, meeting code. See Table 4 below for minimum and maximum parking calculations.

Table 4—Parking Requirements

Principal Use	Sq. Ft.	Minimum Ratio	Minimum Spaces Required	Maximum Ratio	Maximum Spaces Permitted	Total Spaces Provided/ Proposed
Light Retail (Convenience Store)	3,010 sq. ft.	2.5: 1,000 sq. ft. of GFA	8	5: 1,000 sq. ft. of GFA	15	10

Pedestrian Access & Streetscape

A pedestrian walkway shall be provided from the entrance on the north façade of the convenience store to connect to the public sidewalk on S. Orange Blossom Trail. The final streetscape along Orange Blossom Trail will consist of a 7 ft. wide parkway for landscaping at the back of the curb, an 8 ft. wide sidewalk using paver accents to match existing, and a 3 ft. wide landscaping strip on the west side of the knee wall. The plans do not currently meet this configuration. To do so, the knee wall will be relocated approximately 4 ft. further east of the location shown on the current submittal.

A 5 ft. wide sidewalk is required along the property frontages on Jackson St. and South St., which will be located behind 7 ft. wide landscaped parkways—adjacent to the back-of-curb.

Crosswalks are required for each of the driveways to the subject site. Additionally, City Services Easements are requested to be granted for each of the sidewalks along the street frontages. More details are included in the Conditions of Approval.

Urban Design

The elevations for the proposed convenience store and the open pergola at the northwest corner of the subject site will be further reviewed through the Final Site Plan Determination. Per the request of staff, the applicant has altered the southern façade of the convenience store to incorporate more architectural details to eliminate the appearance of the “back-of-house.” The applicant added clear glass to assist with additional transparency, meeting Traditional City design standards and Crime Prevention Through Environmental Design (CPTED) goals.

Signage

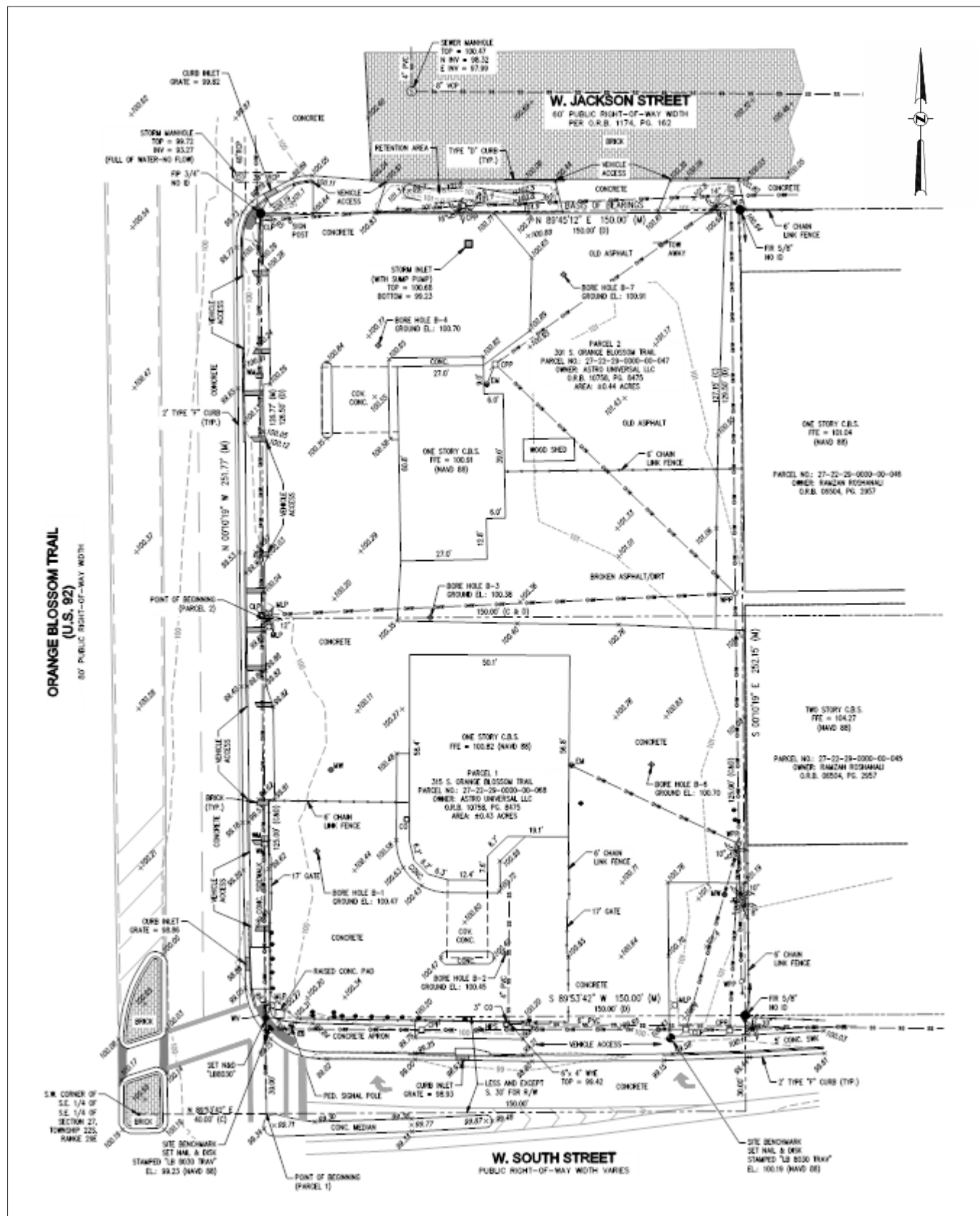
Per LDC Section 64.201, sign area for the light retail facility is based on linear building frontage facing Orange Blossom Trail and South St., including ground, wall, window, or other signs visible from the public R-O-W. All new signage will require permits prior

to sign fabrication and placement. Banners, streamers and wind-operated advertising devices are prohibited. Digital signs are also prohibited. The applicant is planning a sign on the canopy for the gas pumps and will be going through the sign permitting process as they are ready to submit plans for the new sign. Staff requests sign details in the Final Site Plan determination.

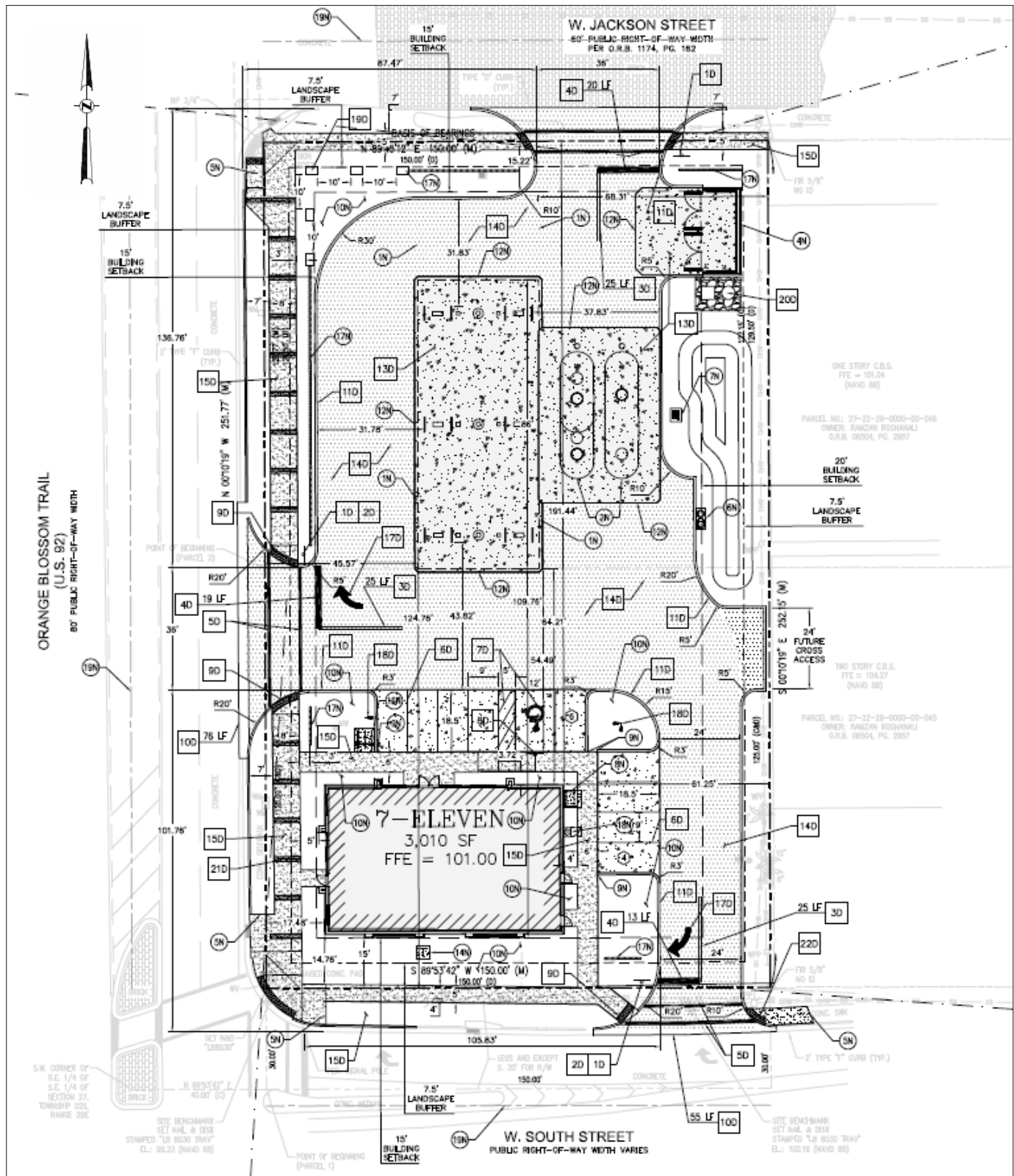
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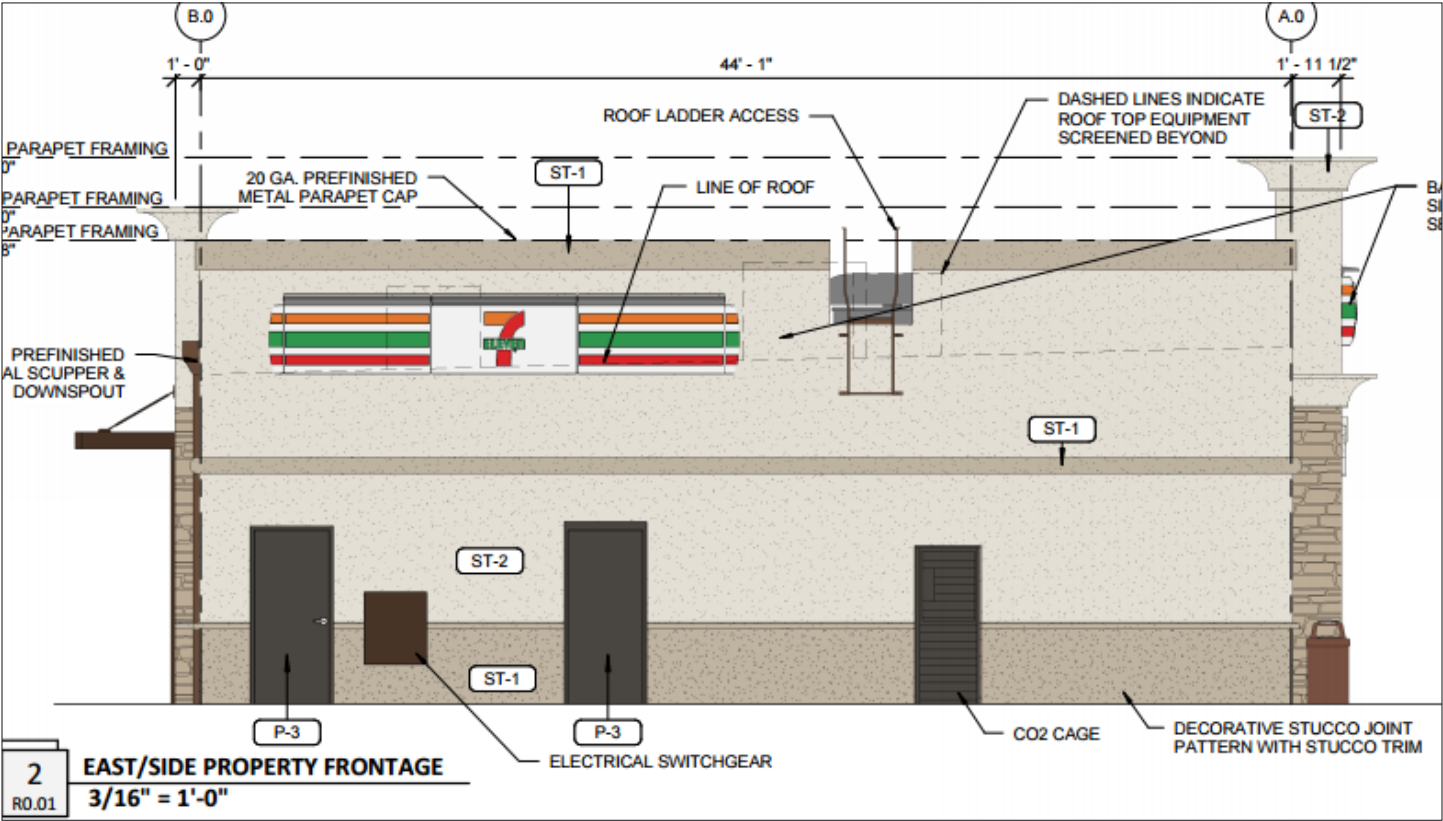
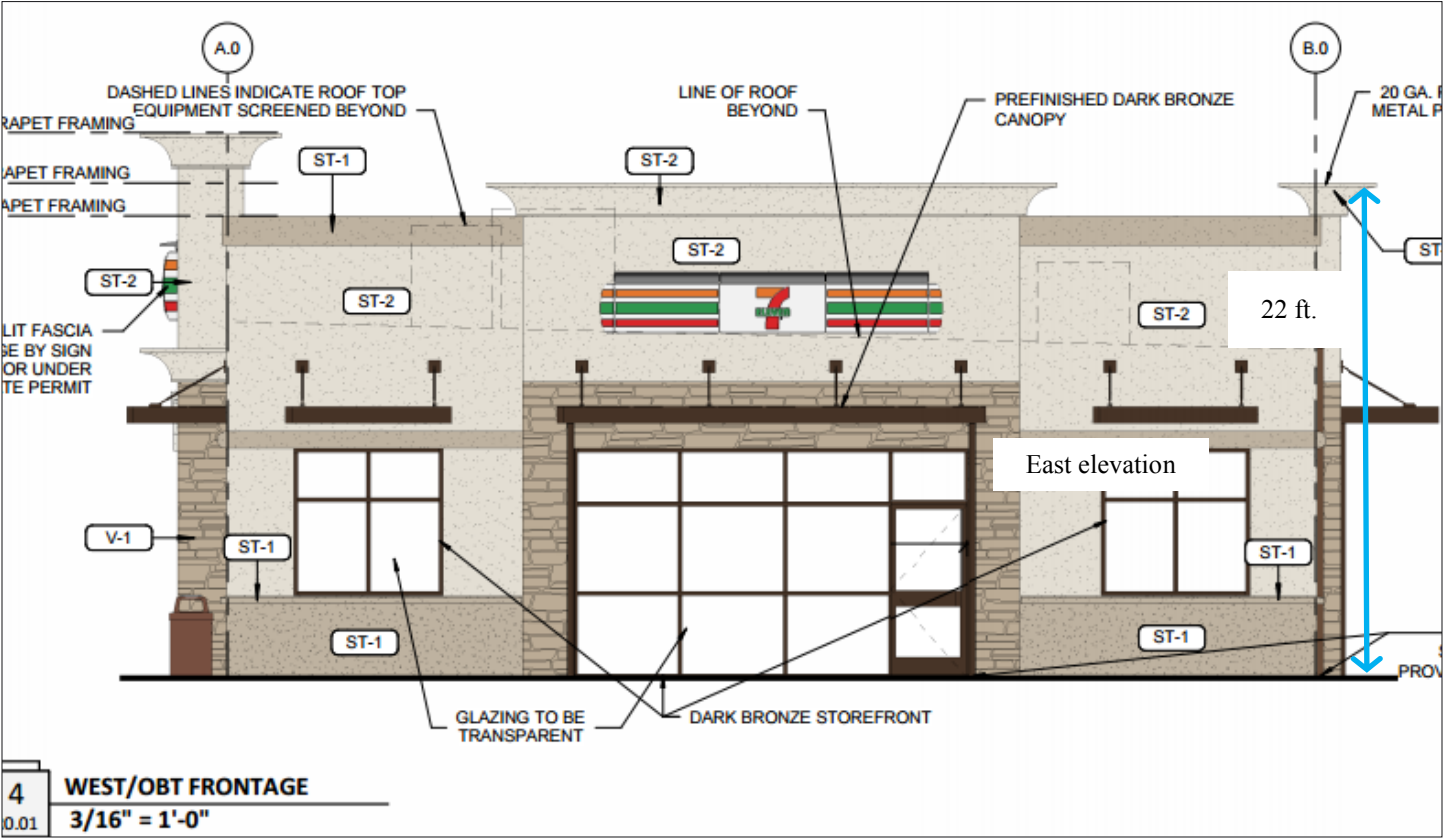
SURVEY



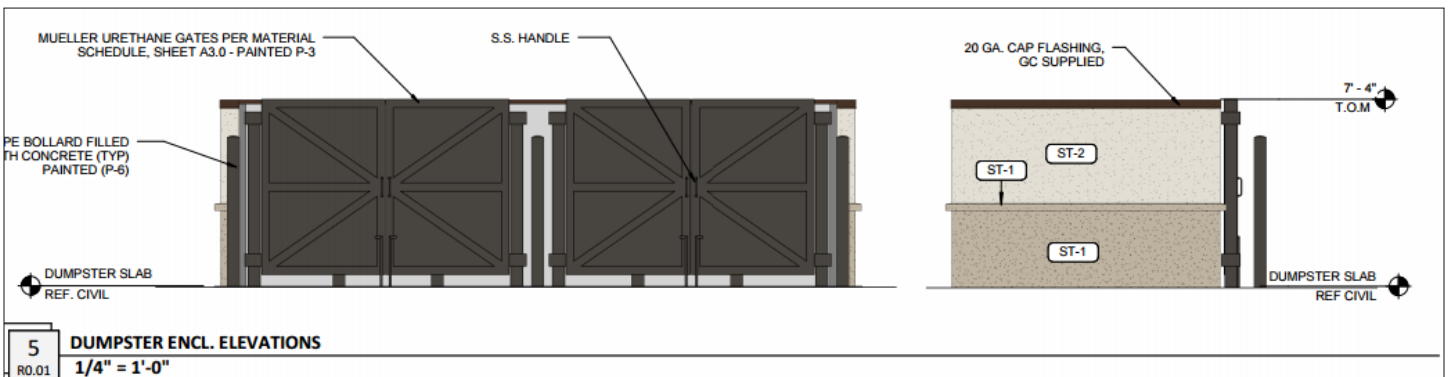
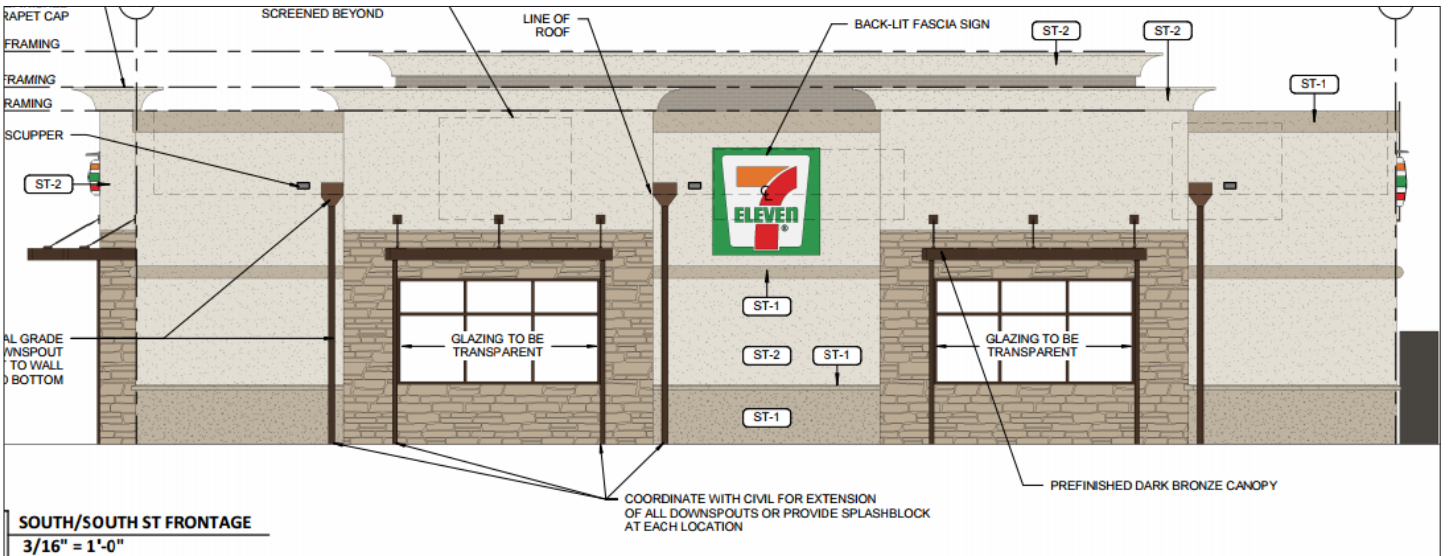
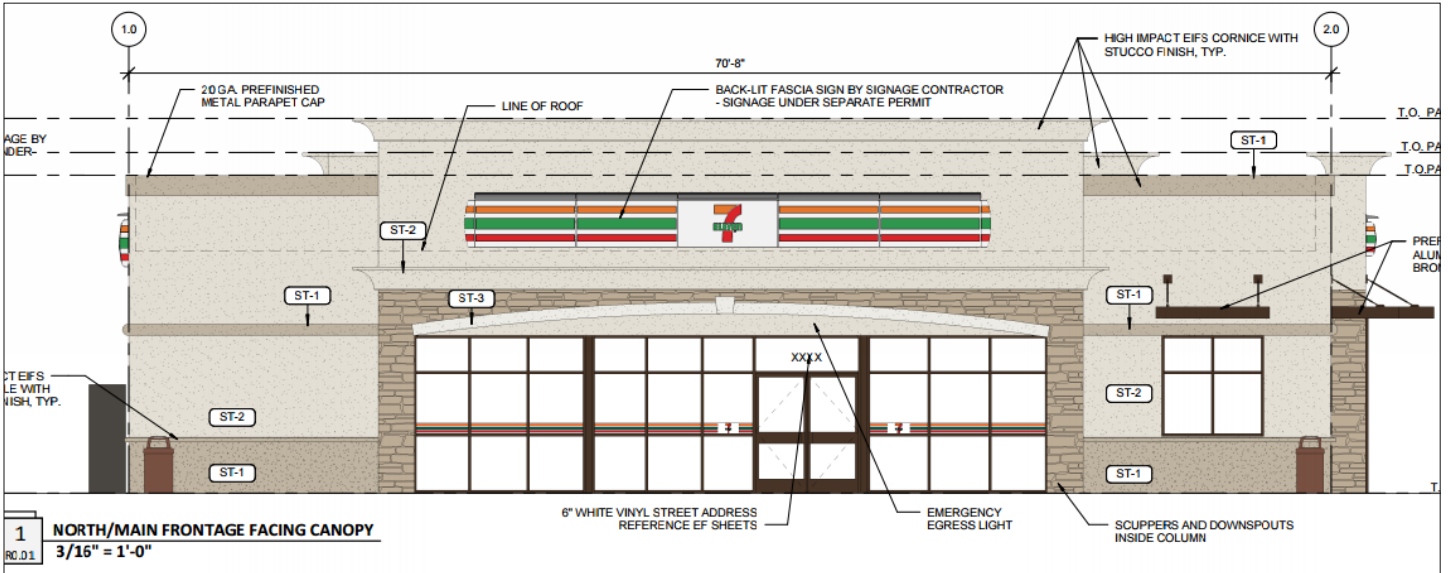
DEVELOPMENT PLAN



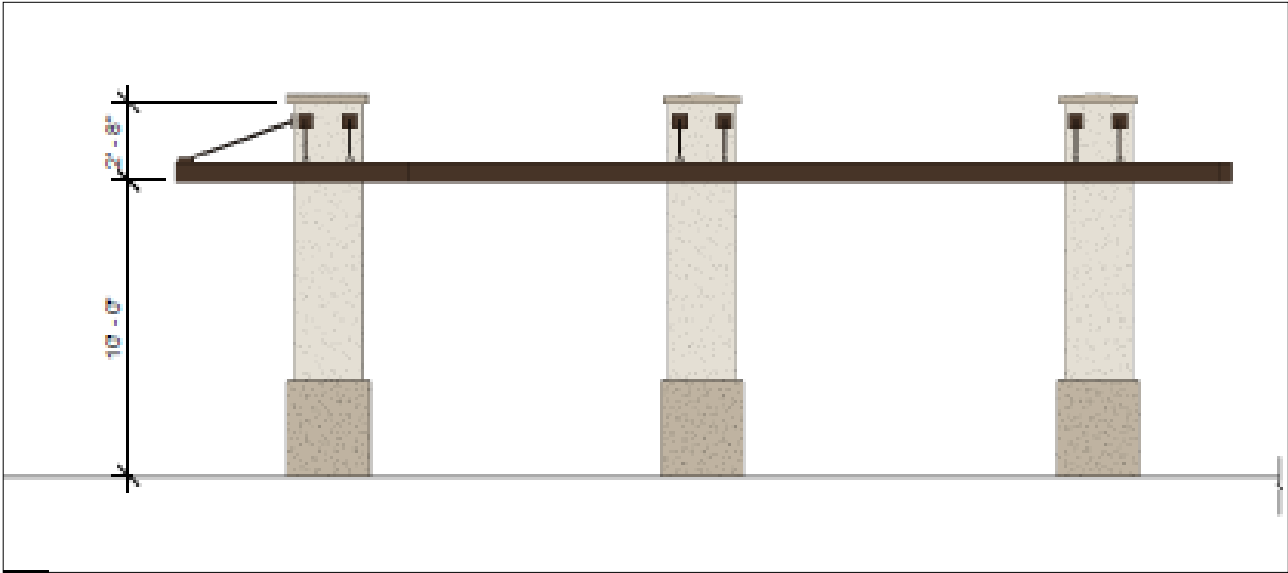
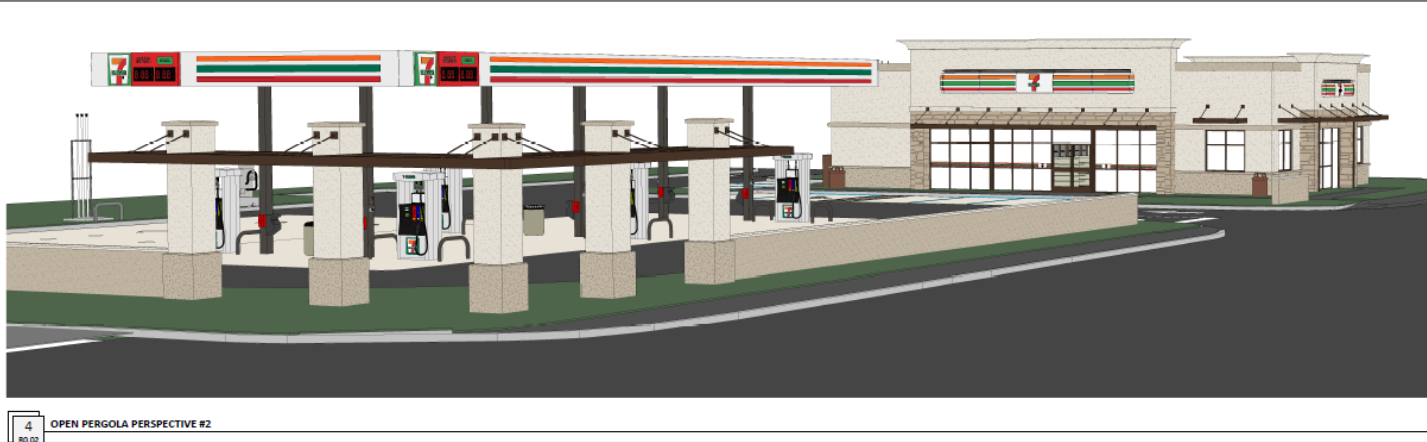
ELEVATIONS



ELEVATIONS



CANOPY & OPEN PERGOLA ELEVATIONS



SITE PHOTOS



View of
existing
streetscape
along S.
Orange
Blossom
Trail



View of
existing au-
to repair
store at 315
S. Orange
Blossom
Trail

SITE PHOTOS



View of
existing
streetscape
along
South St.



View of the
rear yards
at 301 &
315 S. Or-
ange Bloss-
om Trail

FINDINGS

Subject to the conditions contained herein, the proposal is consistent with the requirements for approval of Master Plan applications contained in Section 65.335 of the Land Development Code (LDC):

1. The proposed use is consistent with the City's Growth Management Plan.
2. The proposed use is consistent with the purpose and intent of the MU-1/T/SP/PH zoning district and all other requirements of the LDC.
3. The proposed use will be compatible with surrounding land uses and the general character of the area.
4. The necessary public facilities will be adequate to serve the proposed use, or will be provided by the applicant as a condition of this approval.

CONDITIONS OF APPROVAL

Growth Management

The Comprehensive Planning Studio has no objections to the proposed Master Plan.

Land Development

1. Land Use and Zoning. Except as provided herein, development of the property shall be consistent with the development standards of the MU-1/T/SP/PH zoning district.
2. Variances and modifications. Zoning variances and modification of standards may be approved pursuant to the procedures set forth in Part 2J and Part 2F, Chapter 65, Orlando City Code, respectively. The planning official may also approve minor modifications and design modifications to fences, walls, landscaping, accessory structures, signs, and bufferyard requirements. Additionally, recognizing that development plans can change in small ways between the planning and permitting stages of development, the planning official may approve up to a 10% modification of any applicable numerical development standard if the planning official finds that the proposed modification is consistent with the applicable goals, objectives, and policies of the GMP, is compatible with nearby existing land uses, would not result in inadequate public facilities, and is otherwise consistent with the public health, safety, and welfare. When approving such a modification of a development standard, the planning official may impose one or more of the conditions of development provided at section 65.334, Orlando City Code, but such condition or conditions must be reasonably calculated to mitigate the identifiable land use impacts of the modified standard.
3. Permit Compliance. All plans submitted with the applicant's building permit application(s) must comply with the conditions of approval provided in the Municipal Planning Board staff report and any amendments to those conditions approved by the Municipal Planning Board or City Council. No building permit will be issued for this project until all conditions of approval are complied with and reflected in the plans submitted with the building permit application.
4. Regulations Subject to Code. Except as provided herein, the proposed project is subject to the conditions of this report and all codes and ordinances of the State of Florida, City of Orlando and all other applicable regulatory agencies. All other applicable state or federal permits must also be obtained before commencing development.
5. Master Plan Approval. Approval of the Master Plan by City Council shall grant the applicant authority to submit an application for final site plan approval for a building permit. Such application must be submitted within 24 months of approval or the Master Plan shall expire. However, the Planning Official may extend this time limit for one period of up to twelve months for good cause shown upon written application filed 30 days prior to the expiration date.
6. Signage. Any signage for the proposed commercial outparcel must comply with Chapter 64 of the LDC and will be reviewed at the time of Final Site Plan approval.
7. Consistency. Unless amended by any conditions found herein or any modifications recommended by the MPB and approved by City Council, this project must operate and be developed only as described and conditioned within this report and in accordance with the attached site plan and any other plans or commitments provided in the application package. Any changes in the use of the site, the operation of the project, or the site plan as provided herein may require an amendment to the project and review by the MPB and City Council (see "Minor Modifications" condition below.) This approval is not transferable to another property. All other applicable state or federal permits must be obtained before commencing development.
8. Minor Modifications. Minor modifications to the project, including changes to the design and site plan reviewed by the Municipal Planning Board or City Council, may be approved by the Planning Official without further review by the Municipal Planning Board. Major changes will require additional review by the Municipal Planning Board.
9. Expiration. Upon approval of the Master Plan by City Council, a building permit shall be obtained for the work requiring the master plan within two years of the master plan approval. If the applicant does not receive the building permit within two years, then the master plan is no longer valid and the applicant must reapply for a master plan if the applicant wishes to proceed with a development requiring a master plan. If the building permit for the work requiring the master plan expires before a certificate of

CONDITIONS OF APPROVAL(CONT.)

occupancy or certificate of completion is issued for the work requiring the master plan, then the master plan is no longer valid and the applicant must reapply for a master plan if the applicant wishes to proceed with a development requiring a master plan. However, the Planning Official may extend this time limit for one period of up to 12 months for good cause shown upon written application filed 30 days prior to the expiration date.

10. Disclaimer. As provided by subsection 166.033(5), Florida Statutes, issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. In accordance with subsection 166.033(5), Florida Statutes, it is hereby made a condition of this permit that all other applicable state or federal permits be obtained before commencement of the development.
11. Maximum Impervious Surface Ratio (ISR). The maximum ISR for the subject site shall be consistent with the MU-1/T/SP/PH zoning designation, 0.85.

Urban Design

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2. Electrical. Electrical connection, meter and shut-off control box should be located on the west façade.
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Transportation Planning

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1. The final streetscape along Orange Blossom Trl must consist of a 7 ft. wide parkway for landscaping at the back of the curb, an 8 ft. wide sidewalk using paver accents to match existing, and a 3 ft. wide landscaping strip on the west side of the knee wall. This will necessitate relocating the knee wall approximately 4 ft further east of the location shown on the current submittal.
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1. A 10'x10' Sidewalk and City Services easement must be provided on the NE corner of South St & Orange Blossom Trl. and on the SE corner of Jackson St & Orange Blossom Trl. The existing sidewalk ramp must be expanded within the easement to allow for adequate pedestrian circulation.
2. A sidewalk connection must be constructed to the South St right-of-way.
3. Parking lot and parking space dimensions must comply with Orlando LDC and ESM.
4. On-site sidewalks must be a minimum of 5' wide when adjacent to drive aisles and 6' wide when adjacent to parking stalls unless wheel stops are used.
5. All existing driveways that are to be abandoned shall be removed and the curb, parkway, and sidewalk shall be restored.
6. Autoturn must be provided at time of permitting to show the anticipated truck path to, thru, and from the site.
7. A minimum 24' wide cross access easement must be provided along the east property line at the proposed parking lot connec-

CONDITIONS OF APPROVAL(CONT.)

tion.

8. An FDOT permit will be required for proposed work in the Orange Blossom Trail right of way.
9. At all project entrances, clear sight distances for drivers and pedestrians shall not be blocked by signs, buildings, building columns, landscaping, or other visual impediments. No structure, fence, wall, or other visual impediment shall obstruct vision between 2 feet and 8 feet in height above street level. The street corner / driveway visibility area shall be shown and noted on construction plans and any future site plan submittals. The applicant shall design the site plan as necessary to comply with the Florida Greenbook and the FDOT Design Standards Index. Sight lines shall be provided on both site plans and landscape plans.
10. The final site plan shall show the location and size of the on-site solid waste compactor(s) / dumpster(s) with concrete pads, and enclosures with doors. The solid waste container(s) shall not be located adjacent to any single family houses or directly adjacent to the public street. Dumpsters shall be located to provide a minimum 50 feet of clear backup space and constructed per Orlando Engineering Standards Manual (ESM) requirements, OR documentation shall be provided from the City's Solid Waste Division indicating curb pick-up or other approved arrangement.

INFORMATIONAL CONDITIONS

Building Plan Review

1. Building Plan Review is not applicable to this case at this time.
2. The building design will be reviewed for code compliance during the design development and construction documents phase.
3. This project shall comply with the 2014 Florida Building Code, Florida Fire Prevention Code, Florida Fuel Gas Code, Florida Mechanical Code, Florida Plumbing Code, Florida Accessibility Code, and NEC 2011

Engineering/Zoning

1. Street Tree Fund. The Orlando City Council approved a Resolution at the January 27, 1997 City Council Meeting. Section 61.226 of the City's Land Development Code provides for a Street Tree Trust Fund. The developer is responsible for installation of the trees at a minimum spec of 12'-14' height of canopy tree. The developer shall install the street trees in lieu of contribution to the Trust Fund in accordance with Section 61.226.
2. Refuse Container. In accordance with City Code Section 28.6 (f) 1-3, the Office of Permitting Services is authorized to make a determination of approval/disapproval of refuse container sites. Approval/disapproval of the use of commercial hand pick-up of refuse from any non-residential entity shall be determined solely by the Refuse Collection Bureau Staff.
3. On-site Fees. At the time of development, the owner/developer is required to apply an on-site inspection fee that is a percentage of the cost of the on-site improvements, excluding the building, in accordance with City Land Development Code, Section 65.604.
4. Storm Water Management District. The owner/developer is required to design and construct an on-site storm water system in accordance with the Orlando Urban Storm Water Management Manual and the approved Master Drainage Plan. Approval from South Florida Water Management District is required. The system is to be privately owned and maintained.
5. Storm- NPDES. Construction activities including clearing, grading and excavating activities shall obtain an Environmental Protection Agency (EPA) National Pollution Discharge Elimination System (NPDES) permit, except: Operations that result in the disturbance of one acre total land area which are not part of a larger common plan of development or sale.
6. Sewer Benefit Fees. The owner/developer is required to pay the Sewer Benefit Fee in accordance with the Sewer Service Policy and Chapter 30 of the Land Development Code.
7. ESM. The City Council Adopted the Engineering Standards Manual (ESM), Fourth Edition on March 9, 2009. All plans must conform to the ESM and all construction must be accomplished in accordance to the ESM.
8. Sidewalk. As per Section 61.225 of the Land Development Code, a 5 foot wide concrete sidewalk is required along all dedicated rights-of-way. Any existing sidewalk damaged or broken is to be repaired.
9. Signs- LDC. See Chapter 64 Orlando Land Development Code for sign requirements and regulations. Separate permit applications are required for signs.
10. Concurrency. All new construction, change in use, additions, or redevelopments are required to submit a Concurrency Management application as a part of the building plan review process.

Fire

There are no objections to this request.

1. Be advised that any new construction must adhere to the requirements of the Florida Fire Prevention Code, 2010 Edition, and The City of Orlando Fire Prevention Code.
2. TRC fire code review is preliminary in nature, and is intended to expose or prevent evident design deficiencies with State and

CONDITIONS OF APPROVAL(CONT.)

City Fire Codes. The design will be reviewed in detail for State and City Fire Code compliance at the time of permit application.

Police

1. All sides of the building should have windows to observe walkways, parking areas and driving lanes.
2. Advertisements and product displays should not be located in windows. If advertisements must be used, they should be small in size and located in an area where observation in or out of the building will not be obstructed.
Decals which display height measures should be posted inside any public entrance.
3. Exterior doors should contain, at a minimum, 180° viewers/peep holes (or small windows with security glass), interior hinges, single cylinder deadbolt locks with a minimum one-inch throw, metal frames with 3” screws in the strike plates, and be made of solid core material.
4. Non-public doors should be kept locked from the outside at all times. Internal business policy should prohibit the “propping open” of exterior doors.
5. Since there is typically no natural surveillance along sheer walls, dumpster enclosures or service areas, be sure these areas are well-lit and that lighting is well maintained.

CPTED conditions will be emailed to the client by the Project Manager with the City. For questions regarding Orlando Police Department plan review, please contact Audra Rigby at 407.246.2454 or Audra.Rigby@cityoforlando.net.

Transportation Impact Fees

1. For questions and information regarding Transportation Impact Fee rates you may contact Nancy Ottini at (407) 246-3529 or nancy.jurus-ottini@cityoforlando.net
2. Any new construction, change in use, addition, or redevelopment of a site or structure shall be subject to a review for Transportation Impact Fees. An estimated Transportation Impact Fee in the amount of \$127,133.00, based on the construction of 3,010 sf convenient store along with 12-gas fueling positions, will be due at the time of building permit issuance, subject to change upon final permit plan review.
For a copy of the complete ordinance or impact fee rate chart, you may reference our website at: http://www.cityoforlando.net/transportation-planning/wp-content/uploads/sites/30/2014/03/Ex_A_2013_-Rate_Schedule.pdf
3. Any exemptions or credits against the Transportation Impact Fee must be reviewed prior to permit issuance. All Transportation Impact Fee Credits shall be initiated and processed by the Transportation Impact Fee Coordinator. Credit shall be available for the previous uses located on the subject site.
4. The applicant shall comply with all applicable requirements of Chapter 59, the Concurrency Management Ordinance, to ensure that all public facilities and services are available concurrent with the proposed development, and that the potential impacts on public facilities and services are mitigated.

All new construction, changes in use, additions or redevelopment are required to submit a Concurrency Management application as a part of the building plan review process. A Concurrency Management application is available on the City's Permitting Services website or by contacting your Development Review Technician in the Office of Permitting Services.

CONTACT INFORMATION

Growth Management

For questions regarding Growth Management plan review, please contact Mary-Stewart Droege at (407) 246-3276 or Mary-Stewart.Droege@cityoforlando.net

Land Development

For questions regarding Land Development review, please contact Katy Magruder at (407) 246-3837 or katy.magruder@cityoforlando.net.

Urban Design

For questions regarding Urban Design Review, please contact Doug Metzger at 407.246.3414 or [Doug-las.Metzger@cityoforlando.net](mailto:Douglas.Metzger@cityoforlando.net).

Transportation Planning

For questions and information regarding Transportation Planning review you may contact John Rhoades at 407-246-2293 or john.rhoades@cityoforlando.net

Transportation Engineering

For questions regarding Transportation Engineering issues, please contact Jeremy Crowe at 407-246-3262 or [Jere-my.Crowe@cityoforlando.net](mailto:Jeremy.Crowe@cityoforlando.net).

Engineering/Zoning

For questions regarding Engineering or Zoning contact Keith Grayson at (407)246-3234 or keith.grayson@cityoforlando.net. To obtain plan review status, schedule/cancel an inspection and obtain inspection results, please call PROMPT, our Interactive Voice Response System at 407.246.4444.

Police

For questions regarding Orlando Police Department plan review, please contact Audra Rigby at 407.246.2454 or [Au-dra.Rigby@cityoforlando.net](mailto:Audra.Rigby@cityoforlando.net).

Fire

For questions regarding fire plans review, please contact Charles Chip Howard at 407.246.2143 or at Charles.Howard@cityoforlando.net. To obtain plan review status, schedule/cancel an inspection and obtain inspection results, please call PROMPT, our Interactive Voice Response System at 407.246.4444.

Building

For questions regarding Building Plan Review issues contact Don Fields at (407) 246-2654 or don.fields@cityoforlando.net.

Transportation Impact Fees

For questions and information regarding Transportation Impact Fee Rates you may contact Nancy Ottini at (407)246-3529 or [nan-cy.jurus-ottini@cityoforlando.net](mailto:nancy.jurus-ottini@cityoforlando.net)

REVIEW/APPROVAL PROCESS—NEXT STEPS

1. MPB minutes scheduled for review and approval by City Council.
2. Administrative Master Plan application for the commercial outparcel.
3. Submit for building permits.