

Surface King, LLC
1310 Central Florida Parkway
Orlando, FL 32837

(407)855-5959
donald@surfaceking.com
http://www.surfaceking.com



Estimate

Date	Estimate #
06/07/2017	2017-091R1

Address

Sun Shopping Center
5620-5808 Lake Underhill Rd
Orlando FL 32817

Description	Quantity	Rate	Amount
• New Asphalt Pavement Surface Overlay System			
• 1. Asphalt Pavement & Tree Root Damage Repair Mill out/Saw Cut damaged areas and remove debris. Remove Surface Tree Roots as Feasible Repair Base as Needed Apply Asphalt Tack as needed. Install and Finish New S-III Asphalt Pavement Material(Approx 450 +/- S/F)	450	4.00	1,800.00
• 2. Remove Palm Tree Back of Center in Island and Repair Area as Needed	1	525.00	525.00
• 3. Concrete Repair Repair Broken Concrete Curbs Saw Cut damaged and broken curb. Reduce One Side of Island as Directed Install New Concrete Curb to Match existing Curb (9 Areas Approx 180 +/- Ln/Ft)	180	24.50	4,410.00
• 4. Repair Non Compliant Walkway Ramps as Needed(2 Areas)	2	625.00	1,250.00
• 5. ADA Compliance Parking Stall - Repairs Remove Existing Concrete Wheel Stops Repair and/or Install New Bollard, Post and Signs *All ADA Signs to be New per Current Code	5	375.00	1,875.00

Continue to the next page

Company Rep: _____ Date Accepted: _____

Description	Quantity	Rate	Amount
<ul style="list-style-type: none"> • 6. New 1" Asphalt Pavement Surface Overlay: Mill Out/ Saw Cut Asphalt to Concrete Transitions Repair Areas Missing Asphalt Prior to Paving Prepare Surface and Apply Asphalt Tack. Install a New Lift/Layer of S-III Asphalt Paving Material. 	96500	0.65	62,725.00
<ul style="list-style-type: none"> • 7. Paint New Pavement Marks Layout Parking Lot for New Marks Paint white single stall lines Paint ADA/handicap stalls, hash marks and symbols Paint Directional Arrows Paint Message "FIRE LANE" - "NO PARKING" Paint Stop Bar's 	96500	0.04	3,860.00
<ul style="list-style-type: none"> • * Discounted Per Donald for Dr. Sun 			-1,445.00
		Total	\$75,000.00

Note: Permits, engineering, and new design layouts are not included in this proposal.

Standard Payment Terms: 50% due upon acceptance with the balance due day of completion.

Accepted By

Accepted Date

6/21/17

Company Rep:

Date Accepted:



Date of Estimate:

05/03/2017

Estimate Number:

P71300

Project/Job:

SUN SHOPPING CENTER

Estimator:

Frank Pirillo

SUN SHOPPING CENTER
5800 LAKE UNDERHILL RD
ORLANDO FL 32807
MR. SUN
Phone: 321-303-3310
Email: drdinonsun@gmail.com

RE: SUN SHOPPING CENTER
5800 LAKE UNDERHILL RD
ORLANDO FL 32807

Dear MR. SUN:

Please find attached hereto our proposal for our services. The proposal describes in detail the procedure and/or products used to ensure a very professional and efficient completion of the project.

After reviewing this proposal, please do not hesitate to call me if you have any questions or concerns.

We sincerely appreciate the opportunity to submit our proposal and look forward to working with you on this project.

Respectfully,

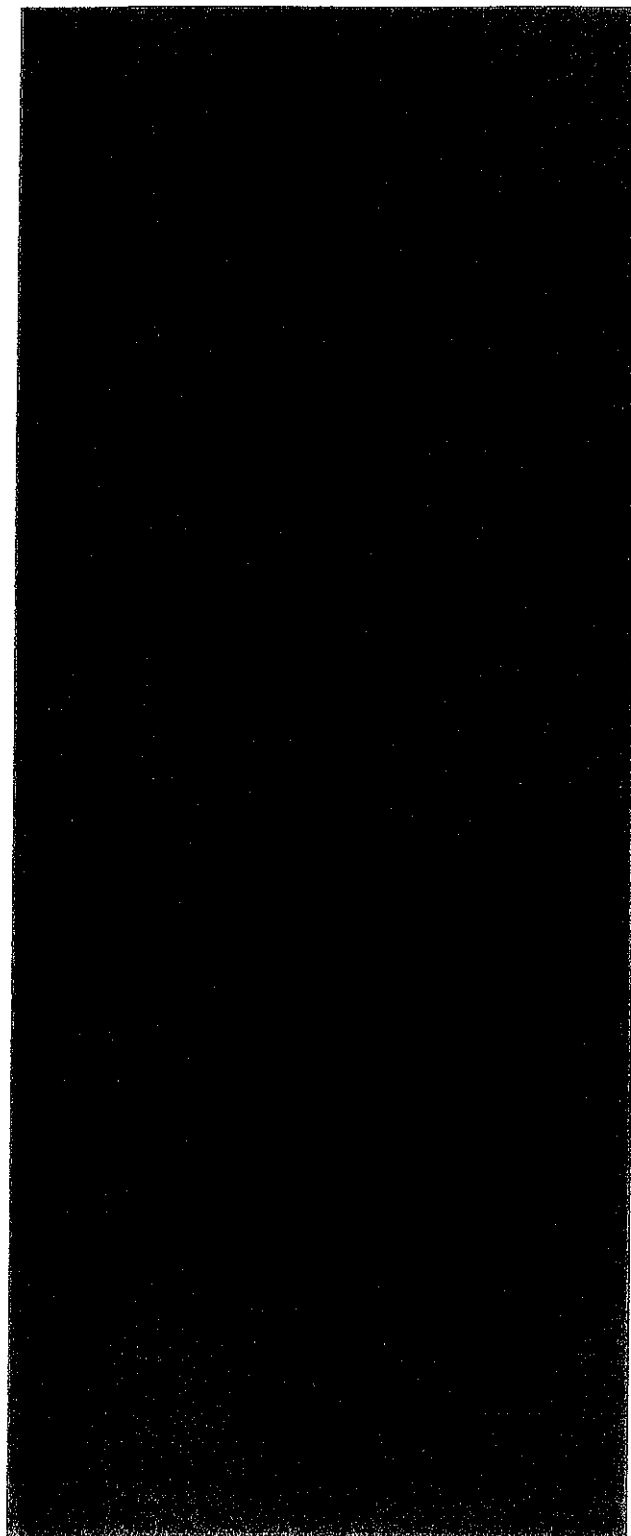
Frank Pirillo – Sales / Estimator
Attachment



Hall Company, Inc.
225 Old Sanford Oviedo Road
Winter Springs, FL 32708
Orlando: 407.327.4930
Fax: 407.327-7345
www.MyAsphalt.com



Presented to:
SUN SHOPPING CENTER





Date of Estimate:
 Estimate Number:
 Project/Job:
 Estimator:

05/03/2017
 P71300
SUN SHOPPING CENTER
 Frank Pirillo

SUN SHOPPING CENTER

Description	Qty	Unit	Rate	Amount
SITE PREPARATION				
MAINTENANCE OF TRAFFIC	1	LS		300.00
RELOCATE WHEEL STOPS	23	EA	9	207.00
PROFILE MILL EXISTING ASPHALT (TO ENSURE SMOOTH TRANSITIONS OF NEW ASPHALT, WILL DUMP ALL MILLINGS IN BACK CORNER OF LOT)	205	LF	4.25	871.25
POWER BROOM EXISTING ASPHALT FREE OF DEBRIS	10,600	SY	.12	1,272.00
SUPPLY & INSTALL WATER VALVE RISERS AS NEEDED TO MATCH HEIGHT OF NEW ASPHALT	3	EA	50	150.00
SUPPLY & INSTALL MANHOLE RISERS AS NEEDED TO MATCH HEIGHT OF NEW ASPHALT	5	EA	225	1,125.00
SUBTOTAL				3,925.25
ASPHALT OVERLAY				
TACK W/ RS-1 PRIOR TO PAVING TO ENSURE ADHESION OF NEW ASPHALT	10,600	SY	.30	3,180.00
INSTALL 1" OF S-3 HOT ASPHALT	10,600	SY	5.51	58,406.00
ROLL WITH STEEL WHEEL ROLLER AND TRAFFIC ROLLER FOR COMPACTION				
ASPHALT LEVELING IF REQUIRED (PROPER DRAINAGE AND STRUCTURAL INTEGRITY)	10	TN	98	980.00
SAND PROJECT DURING FINAL COMPACTION TO MINIMIZE VEHICLE TIRE MARKS				
SUBTOTAL				62,566.00
STRIPING WITH D.O.T. APPROVED TRAFFIC PAINT				
REGULAR STALLS	207	EA	4.75	983.25
HANDICAP STALLS	6	EA	45	270.00
SPEED BUMPS	4	EA	45	180.00
PAINT WHEEL STOPS	23	EA	8	184.00
4" CONTROL LINE	1940	LF	.75	1,455.00
6" CURB	225	LF	.85	191.25
RE-INSTALL WHEEL STOPS	23	EA	18	414.00
NUMBER STENCILS	508	EA	3.5	1,778.00
PAINT BOLLARDS	6	EA	12	72.00
SUBTOTAL				5,527.50
CONCRETE CURB				
DEMO & REPLACE 6" CONCRETE CURB (OLD DEMO CURB CAN BE DUMPED IN BACK CORNER OF LOT)	30	LF	20.00	600.00
SUBTOTAL				600.00

TOTAL DUE UPON COMPLETION:

\$72,618.75



SUN SHOPPING CENTER presented by Hall Company, Inc.



Date of Estimate:

05/03/2017

Estimate Number:

P71300

Project/Job:

SUN SHOPPING CENTER

Estimator:

Frank Pirillo

KEYNOTES:

- ANY UNFORSEEN CONDITIONS THAT REQUIRE ADDITIONAL ASPHALT WILL BE BILLED AT \$90.00 PER TON.

NOTES:

1. Notification of the upcoming work is the responsibility of the customer.
2. Any cars in the designated work areas will be towed from the work area with all charges being the responsibility of the property owner/management company. Any delays as a result of having to tow vehicles from the work area may result in additional charges.
3. Hall Company, Inc. will not be responsible for scars, marks, etc, left on new asphalt from car/truck tires when the new surface is driven on before the proper amount of cure time.
4. All efforts will be made to provide positive drainage, however due to existing conditions outside of our scope of work we cannot guarantee 100% drainage.
5. This proposal does not include the cost of testing or permits.
6. The scope of work is limited to the items specifically outlined in this proposal.
7. No warranty is implied or given for surface course in event of future base or sub-base failure. All other workmanship and materials are guaranteed for a period of one (1) year from the date of completion, excluding normal wear and tear.
8. All cracking in existing base and/or asphalt will reflect through the new asphalt. These cracks are not covered under warranty.
9. Payment in full is due upon receipt of invoice unless prior arrangements have been made.
10. Finance charges shall be charged for all past due invoices at the rate of 1.5% per month, which is an APR of 18%.
11. This proposal may be withdrawn or revised if not accepted within 30 calendar days from the date of proposal.
12. Hall Company, Inc. shall be entitled to recover all costs of collection of customer's account, including reasonable attorney's fees, whether or not suit is instituted.

We appreciate the opportunity to present our proposal and look forward to being of service to you on this project and in the future. If you have any questions regarding our proposal, please do not hesitate to contact our office.

Frank Pirillo – Sales / Estimator
Phone: 407-467-8223
Date: 05/03/2017

Acceptance of Proposal

Print Name

Date



SUN SHOPPING CENTER presented by Hall Company, Inc.



Date of Estimate:

05/03/2017

Estimate Number:

P71300

Project/Job:

SUN SHOPPING CENTER

Estimator:

Frank Pirillo

HISTORY:

Hall Company is locally owned and has operated in Central Florida for over thirty years. During this time, we have created both a highly successful asphalt division and site development division. Our expertly trained teams have acquired an extensive range of expertise, professionalism, and an impressive edge in both areas.

LEADERSHIP:

James C. Hall, Chief Executive Officer

Michael Eubanks, Vice President

FACILITIES:

Hall Company's facilities are company owned and located on prime industrial property in Winter Springs, Florida. All operations are based from these facilities.

PRODUCTS:

Hall Company's asphalt division specializes in complete parking lot and asphalt maintenance services, to include roadway base, paving, repair, overlay, sealcoating, parking bumpers, sports courts, ADA compliance, crack and joint repair, striping, signage, drain correction/mitigation, and concrete installation and repair.

COMMITMENT:

Hall Company operates under a steadfast commitment to ensure each and every project undertaken is afforded the same quality workmanship and professionalism. We have proven that our high standards for producing a quality project ensure customer satisfaction. As a result of our stellar commitment, we have become a highly regarded leader in our community in the construction arena and possess a widely recognized reputation for completion of quality projects in a timely fashion.





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05/03/2017

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Project/Job:

SUN SHOPPING CENTER

Estimator:

Frank Pirillo

HALL COMPANY REFERENCES:

ASSET MANAGEMENT RESOURCES

10950-60 San Jose Blvd., Suite 310
Jacksonville, FL 32223
Mr. Thomas Schacht
(904) 219-8889

LAKE SHEEN RESERVE HOA

10472 Wiscane Ave.
Orlando, FL 32836
Mr. Stan Robson
(407) 493-2173

VISTA MANAGEMENT

225 South Westmonte Drive, Ste#3310
Altamonte Springs, FL 32716-2147
Ms. Katie Wilkerson
(407) 682-3443 x228

SENTRY MANAGEMENT

2180 W. State Road 434 - Ste. 5000
Longwood, FL 32779
Mr. Jack Armstrong
(407) 788-6700 - Ext. 297

SEMINOLE COUNTY SCHOOLS

820 E. State Road 434
Winter Springs, Florida 32708
Mr. Dave Steindl
(407) 320-7450

CAL DEVELOPMENT INC

9700 Phillips Hwy, Ste. 105
Jacksonville, FL 32256
Ms. Lisa Price
(904) 262-8814

PREFERRED MATERIALS, INC.

Tampa Office

5701 E Hillsborough Ave, Ste 1122
Tampa, FL 33610
Mr. Jon Bramorte
(813) 612-5740
Shane Taylor
(904) 576-1345

S.I. GOLDMAN

799 Bennett Dr.
Longwood, FL 32751
Stuart McIntire
(407) 830-5000

VANSON ENTERPRISES

1231 Kindel Avenue
Winter Park, FL 32789
Mr. Robert Wachter
(407) 647-2334

THE BRIAR TEAM

4570 Orange Blvd.
Sanford, FL 32771
Mr. Noy Rivers
(407) 585-2540

JON M HALL COMPANY

1920 Booth Circle, Suite 230
Longwood, Florida 32750
Mr. Keith Carson
(407) 215-0410

MIDDLESEX ASPHALT, LLC.

10801 Cosmonaut Blvd.
Orlando, FL 32824
Mr. John Guemple
(407) 908-1041

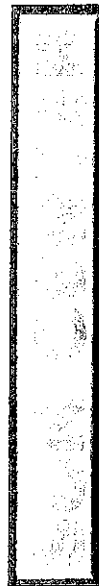
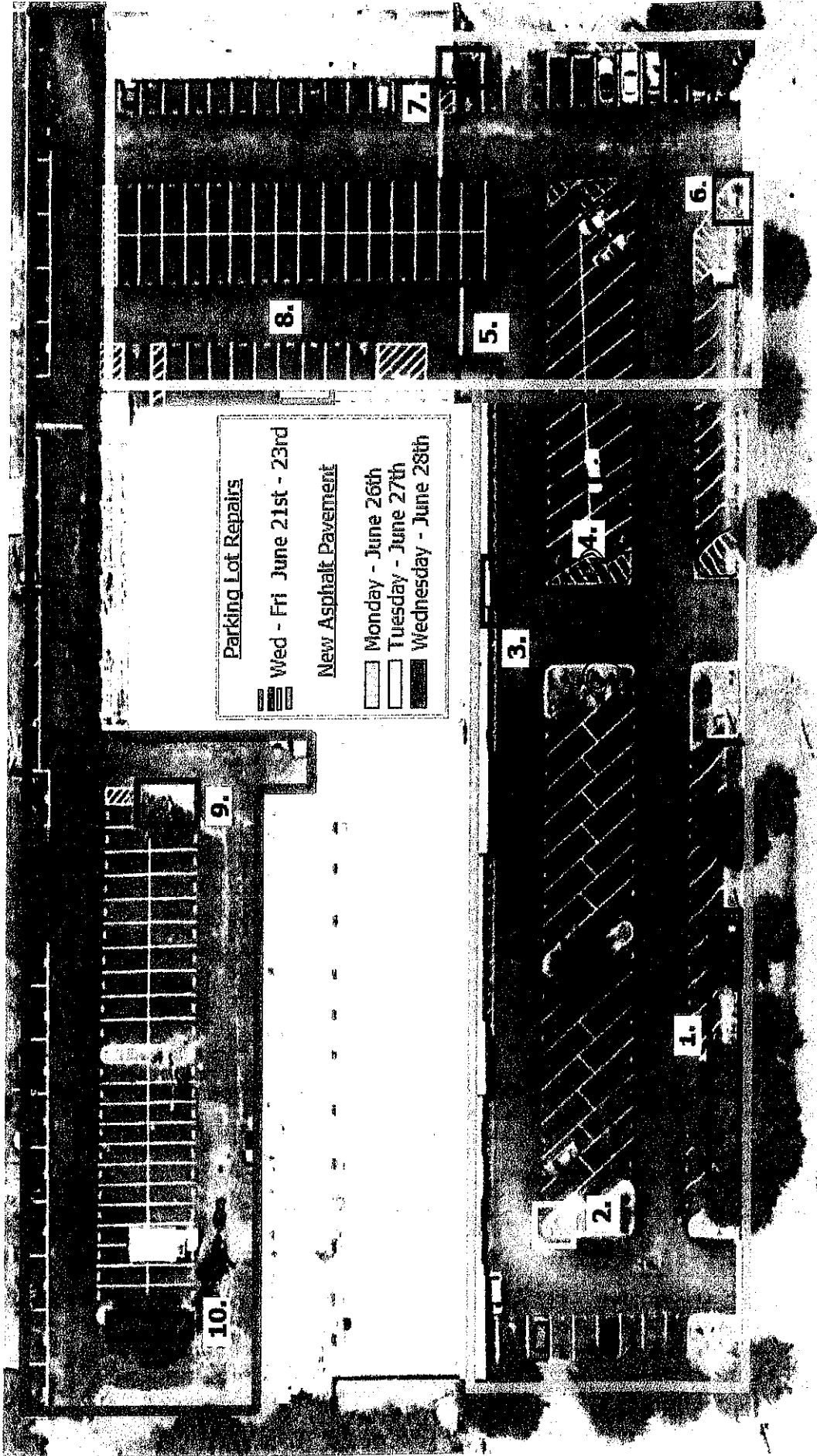
ORLANDO PAVING COMPANY

A Division of Hubbard Construction
P.O. Box 547217
Orlando, FL 32854-7217
Mr. Joe Sustaita
(321) 303-3425

PREFERRED MATERIALS, INC.

Kissimmee Office

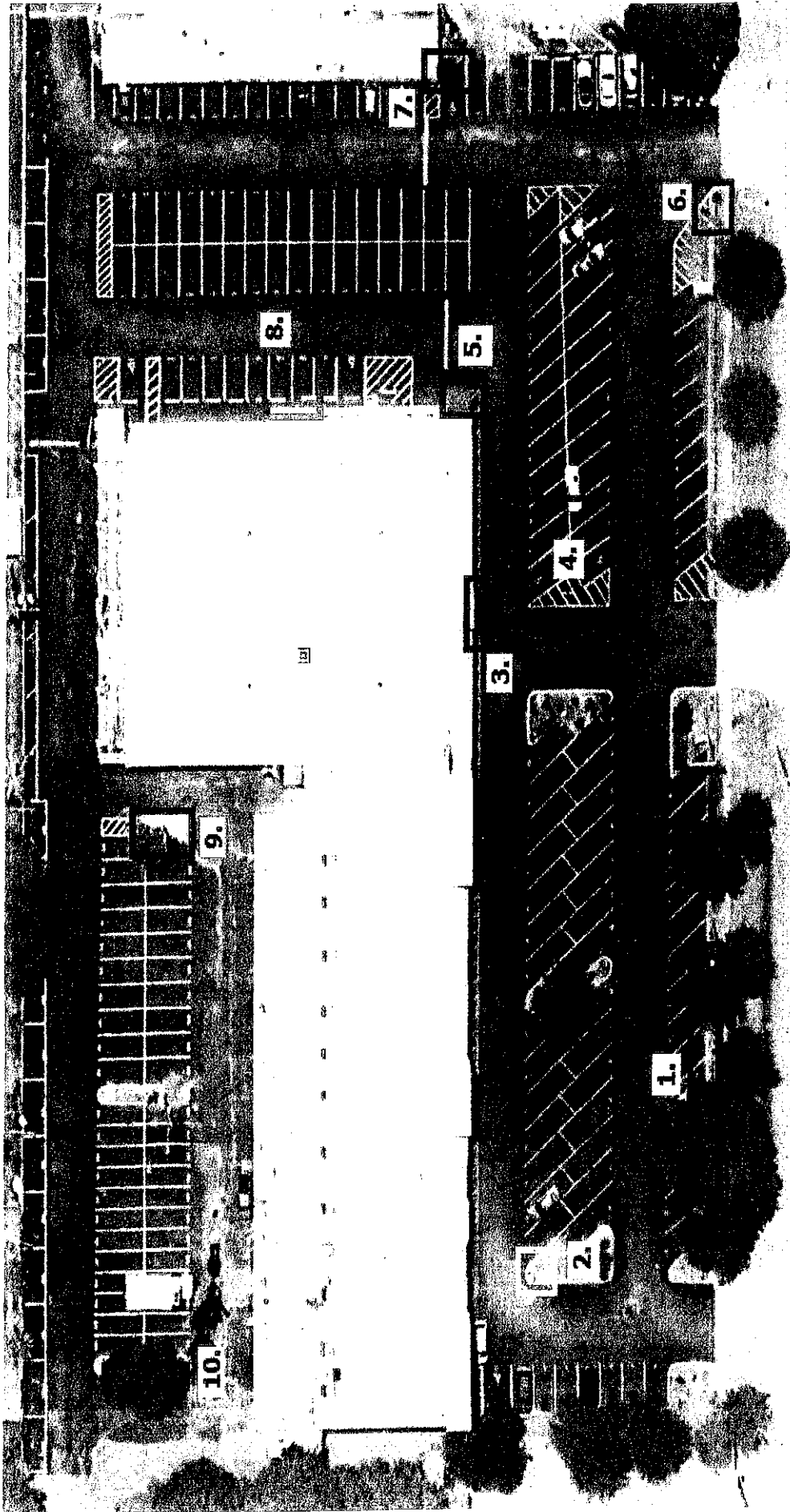
2710 Michigan Avenue
Kissimmee FL 34744
Mr. Joe Liakos
(407) 343-7445



5620-5808 Lake Underhill Rd. Orlando FL 32817



1310 Central Florida Parkway
 Orlando, FL 32837 Ph. 407-855-5959



5620-5808 Lake Underhill Rd. Orlando FL 32817

1. Tree Root Repairs - Curb and Pavement
2. Curb Repair - Reduce Radius on Curb
3. Asphalt Ramp Repair - Reduce Size of Ramp
4. ADA Stall Repairs - Add Bollards
5. Raise Asphalt Pavement
6. Straighten 2 Bollards
7. Add Asphalt Ramp and ADA Post and Sign
8. Move ADA Stalls This Area
9. Remove Tree - Tree Root Repairs
10. Tree Root Repairs - Curb and Asphalt

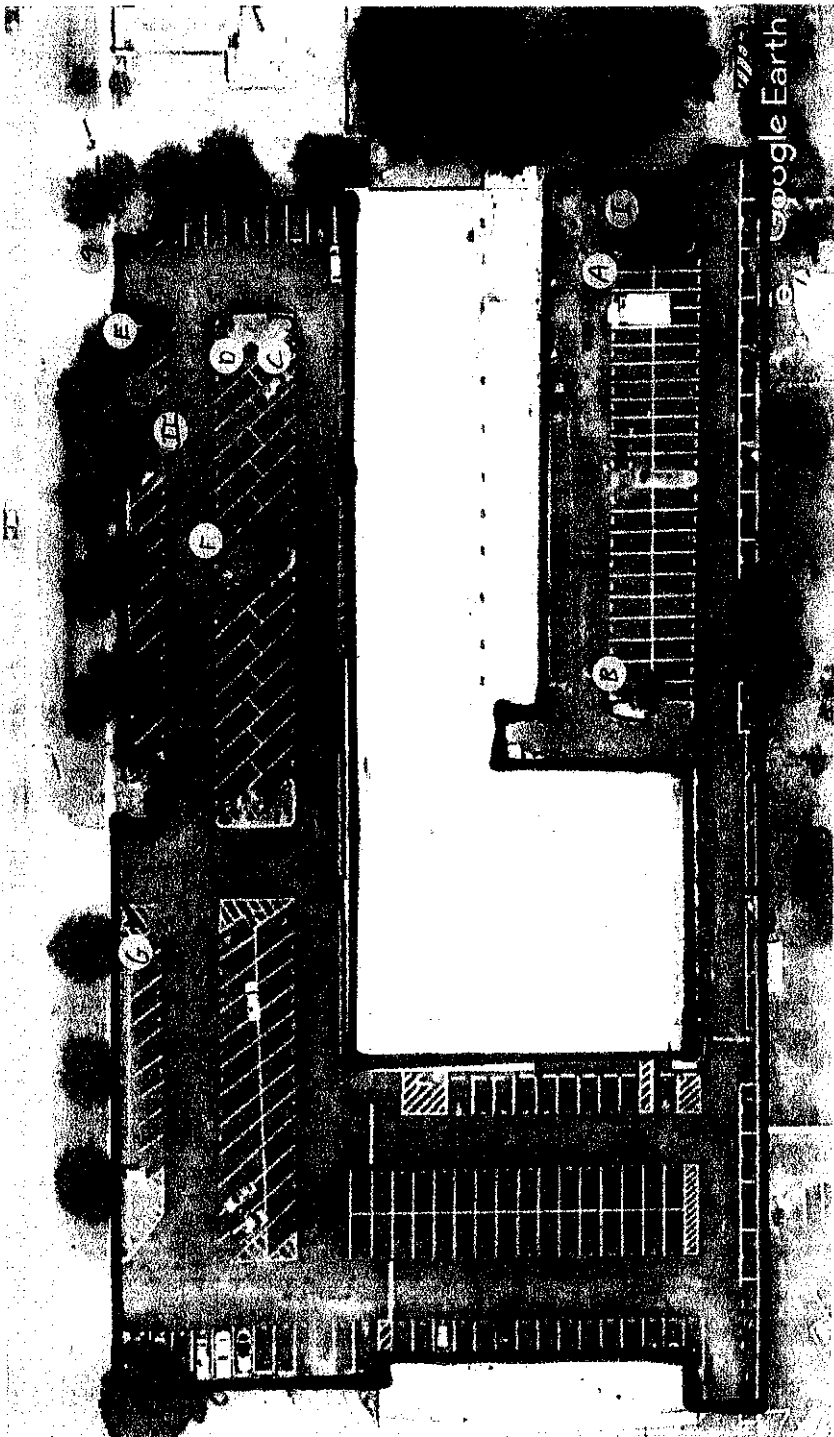


1310 Central Florida Parkway
Orlando, FL 32837 Ph. 407-855-5959

ORLANDO

SUN SHOPPING CENTER

ORLANDO



GO GLE

CHURN REPAIR
 (1) 100 (2) 9 (3) 30
 (4) 50 (5) 27 (6) 10
 (7) 9 (8) 23 (9) 7

SURFACE AREA
 90,000sq ft / 10,000sq yd

ISLAND MODIFICATION
 (A) 40sq ft (B) 30sq ft (C) 30sq ft
 (D) 40sq ft (E) 40sq ft (F) 40sq ft

ROOT DAMAGE
 (I) 13xs (II) 10xs

SCALE
 300 feet
 100 meters

PLANT AREA
 (A) PLANT AREA AT INTERSECTION



Customer Billing Information Form

Thank you for choosing ACPLM. To ensure we contact the correct person for any billing questions, please fill out the Billing Contact Information below and send back with your signed proposal. We look forward to working with you.

The terms of your contract are:

Billing Contact Information:

Company Name:

Job Site Name and Address:

Billing Contact Name:

Billing Address:

Billing Phone Number:

Billing Cell Number:

Email Address:



Office: 813.633.0548
Fax: 813.634.2686



www.acplm.net
www.sealcoatingamerica.com



P.O. Box 6412
Sun City Center, FL 33571



May 26, 2017

Proposal #62655171G

Contact

Dr. Dinon Sun
Phone: 321 301-3310
drdinonsun@gmail.com

Customer

Sun Shopping Center
5800 Lake Underhill Road
Orlando, FL 32817

Job

Sun Shopping Center
5800 Lake Underhill Road
Orlando, FL 32817

CURB REPAIRS, EDGE MILL, OVERLAY AND STRIPE

Terms – 50% Upon Commencement, 40% Upon Completion & 10% Net 30 Days from Completion

ACPLM Authorized Signature _____

Damon Fernandez
Cell: 904 631-3305 dfernandez@acplm.net

Acceptance of Proposal – The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above. All payments later than 30 days after due date shall bear interest at 18% per annum.

Date of Acceptance _____

Customer's Authorized Signature _____

Terms and Condition: Payment is due in full upon project completion unless prior arrangements have been made in advance. If any legal action arises out of this agreement or breach thereof, the customer will be responsible for all attorney fees and incurred late fees. Any alteration or deviation from the above specifications involving extra costs of material or labor will be an additional charge outside of the scope listed in this proposal. Sprinkler systems on the property are to be off for the duration of the project. Customer assumes responsibility for removing all vehicles from the area outlined above.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standards practices. Any alteration or authorized deviation from the original specifications, involving extra cost, to be executed only upon receiving written change orders and will become an extra charge over and above this estimate. All agreements contingent upon strikes, accidents, weather or delay beyond our control. Owner to carry fire, tornado and other necessary insurance. Our employees are fully covered by Workers Compensation Insurance. This proposal is good for 60 days from assigned date, after which prices are subject to possible changes.

Proposal Amount - \$73,947.00



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Sun City Center FL 33571



May 26, 2017

Proposal #62655171G

Contact

Dr. Dinon Sun
Phone: 321 301-3310
drdinonsun@gmail.com

Customer

Sun Shopping Center
5800 Lake Underhill Road
Orlando, FL 32817

Job

Sun Shopping Center
5800 Lake Underhill Road
Orlando, FL 32817

CURB REPAIRS, EDGE MILL, OVERLAY AND STRIPE

Option 2:

Attach 1 new handicap sign to 1 existing Handicap Bollard System and remove existing damaged Handicap bollard and install 1 new Handicap Sign Bollard System for an additional \$1,250.00.

Please circle YES / NO and initial _____

Notes:

- *WORK TO BE DONE IN ONE MOBILIZATION. ADDITIONAL MOBILIZATIONS WILL BE AN EXTRA CHARGE.
- *AT LEAST TWO WEEKS PRIOR TO THE START OF WORK, CUSTOMER IS TO HAVE THE GRASS, VEGETATION AND THEIR ROOTS THAT ARE GROWING IN THE PARKING LOT WORK AREA KILLED.
- *IT IS CUSTOMER'S RESPONSIBILITY TO HAVE A TOWING COMPANY ON SITE AND AVAILABLE FOR TOWING VEHICLES OBSTRUCTING THE JOB SITE. IF VEHICLES CANNOT BE MOVED IN A TIMELY MANNER, WE WILL NEED TO RESCHEDULE THE WORK AND A CHANGE ORDER WILL BE REQUIRED FOR THE ADDITIONAL MOBILIZATION.
- *NEW ASPHALT IS SUSCEPTIBLE TO SCUFFING AND MARKS UNTIL IT HAS PROPERLY CURED.
- *NEW CONCRETE IS SUSCEPTIBLE TO SCUFFING AND MARKS UNTIL IT HAS PROPERLY CURED.
- *ACPLM CANNOT BE RESPONSIBLE FOR POWER STEERING MARKS TO THE NEW ASPHALT.
- *ACPLM CANNOT BE HELD RESPONSIBLE FOR REFLECTIVE CRACKING OF ASPHALT DUE TO EXISTING CRACKS.
- *THE ASPHALT IN THIS PROPOSAL IS RECYCLED MIX AT 110 Lb. YIELD, UNLESS OTHERWISE NOTED.
- *DUE TO THE ELEVATIONS IN THE EXISTING PARKING LOT, IT CANNOT BE GUARANTEED THAT STANDING WATER WILL BE 100% ELIMINATED.
- *MATERIAL ACCEPTANCE IS BASED UPON MATERIAL LAB RESULTS FROM ASPHALT SUPPLIER.
- *PRIOR TO PAVING, A COPY OF THE ASPHALT SPECIFICATIONS, RESULTS OF BASE DENSITY TESTS WILL BE REQUIRED, OTHERWISE ANY SPECIFIC ASPHALT DENSITY REQUIREMENTS ARE WAIVED.
- *NOT INCLUDED IN THIS PROPOSAL ARE IMPACT FEES, AS BUILT DRAWINGS, BONDS, MOT, SURVEY, PRIMING/SANDING, TESTING AND ENGINEERING.
- *THIS CONTRACTOR IS NOT RESPONSIBLE FOR DAMAGE TO IRRIGATION LINES, UNDERGROUND UTILITIES OR ANY OTHER HINDERANCE IN THE WORK AREA.
- *BARRICADES/CONES WILL BE PROVIDED TO CLOSE OFF AREAS BEING PAVED. ACPLM IS NOT RESPONSIBLE FOR PERSONS ENTERING AREAS CLOSED OFF WITH BARRICADES AND TRACKING TACK NOR FOR DAMAGE TO PROPERTY OR INJURY TO PERSONS ENTERING THE BARRICADED AREA.
- *THIS CONTRACTOR CANNOT GUARANTEE AGAINST FUTURE BLISTERING, FLAKING OR PEELING OF PREVIOUSLY PAINTED OR STRIPED AREAS.
- *PERMIT FEES AND PROCUREMENT FEES ARE NOT INCLUDED. THE COST OF THE PERMIT, IF REQUIRED, AND ALL COSTS ASSOCIATED WITH OBTAINING A PERMIT, AND ANY ADDITIONAL WORK REQUIRED BY THE PERMIT, WILL BE AN EXTRA COST THAT SHALL BE PAID BY THE CUSTOMER.
- *MATERIAL AND WORKMANSHIP ARE GUARANTEED FOR 12 MONTHS.



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P.O. Box 6412
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May 26, 2017

Proposal #6265517IG

Contact

Dr. Dinon Sun
Phone: 321 301-3310
drdinonsun@gmail.com

Customer

Sun Shopping Center
5800 Lake Underhill Road
Orlando, FL 32817

Job

Sun Shopping Center
5800 Lake Underhill Road
Orlando, FL 32817

REVISED

CURB REPAIRS, EDGE MILL, OVERLAY AND STRIPE

Extruded Curb Repairs And Island Modifications

Scope of work:

1. Saw cut and remove 9 areas of damaged Extruded Curb totaling approximately 260 linear feet.
2. Excavate 6" below asphalt surface 7 areas of dirt and debris from designated islands totaling approximately 250 square feet.
3. Haul concrete, dirt and debris off site.
4. Prep and pour 7 areas of 6" thick high and early concrete.
5. Pour 9 areas of Extruded Curb totaling approximately 260 linear feet.
6. Apply a broom finish and apply control joints as required.

Labor and Material for Curb Repairs - \$8,350.00

**Edge Mill, 1" Asphalt Overlay and Stripe
90,000sf square feet/10,000 square yards**

Scope of work:

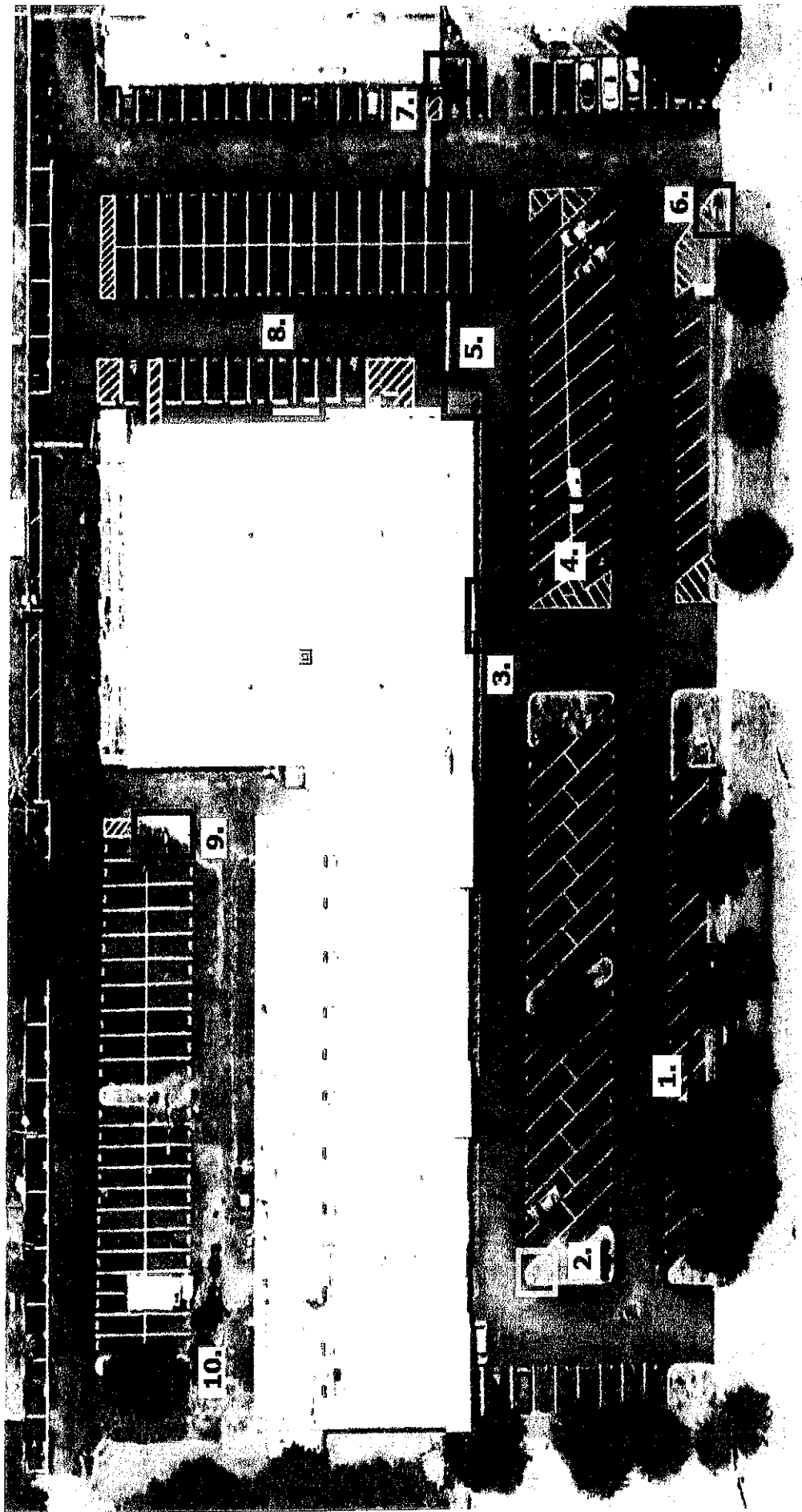
1. Pick up and place in designated areas 25 car stops for future reinstallation.
2. Edge mill all transitions to concrete surfaces (ex. Curb gutters, concrete collars, drive aprons, flush sidewalks, ramps, etc.) out to a distance adequate to facilitate positive drainage and not create an elevation issue. The point where the new asphalt meets the existing asphalt should have a minimum thickness of one inch (1").
3. Spread millings in designated low area.
4. Power sweep and clean entire milled area.
5. Pre-base all low or rough areas with asphalt.
6. Install 1" of Type S-3 hot mix asphalt to an area totaling approximately 10,000 square yards.
7. Compact asphalt using vibratory rollers.
8. Install 5 speed bumps.
9. Restripe to match the existing layout using DOT approved latex traffic paint.
10. Position and pin existing 25 concrete car stops.

Labor and Material for Overlay - \$65,597.00

Option 1:

To remove 1 Palm Tree, grind roots/stump down to approximately 6.5" below existing asphalt surface, install approximately 6" of compacted base and compact 1.5" of asphalt for an additional \$1,100.00.

Please circle YES / NO and initial _____



SUN CENTER

5620-5808 Lake Underhill Rd. Orlando FL 32817

1. Tree Root Repairs - Curb and Pavement
2. Curb Repair - Reduce Radius on Curb
3. Asphalt Ramp Repair - Reduce Size of Ramp
4. ADA Stall Repairs - Add Bollards
5. Raise Asphalt Pavement
6. Straighten 2 Bollards
7. Add Asphalt Ramp and ADA Post and Sign
8. Move ADA Stalls This Area
9. Remove Tree - Tree Root Repairs
10. Tree Root Repairs - Curb and Asphalt



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• 2. Remove Palm Tree Back of Center in Island and Repair Area as Needed	1	525.00	525.00
• 3. Concrete Repair Repair Broken Concrete Curbs Saw Cut damaged and broken curb. Reduce One Side of Island as Directed Install New Concrete Curb to Match existing Curb (9 Areas Approx 180 +/- Ln/Ft)	180	24.50	4,410.00
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Continue to the next page

Company Rep: _____ Date Accepted: _____

Description	Quantity	Rate	Amount
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• 7. Paint New Pavement Marks Layout Parking Lot for New Marks Paint white single stall lines Paint ADA/handicap stalls, hash marks and symbols Paint Directional Arrows Paint Message "FIRE LANE" - "NO PARKING" Paint Stop Bar's	96500	0.04	3,860.00

Note: Permits, engineering, and new design layouts are not included in this proposal.
Standard Payment Terms: 50% due upon acceptance with the balance due day of completion.

Total	\$76,445.00
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Accepted By _____

Accepted Date _____

Company Rep: _____ Date Accepted: _____



407-542-5538

"Growing Relationships and Beautiful Landscapes"

Proposal / Work Order

DATE

PO NUMBER

NAME:

Dixon Sun

ADDRESS:

5700 1K underhill rd

CITY, STATE, ZIP:

Orlando

PHONE:

EMAIL:

GATE CODE:

LOCATE #

QTY LIST OF SERVICES OR MATERIAL UNIT COST PRICE

Approx 1/2 in. ac feet across
front of home center

136

16

2,170.-

20

550

1,100.-

7

400

2,800.-

120

20

2,400.-

120

20

2,400.-

20

350

7,000.-

LANDSCAPE DESIGN & INSTALLATION

QUOTE VALID FOR 30 DAYS

TOTAL

25,570.-

BALANCE DUE UPON COMPLETION

DEPOSIT

FINANCING AVAILABLE!

BALANCE

Customer Signature



General Terms and Conditions

Contractor's Responsibility: The contractor shall recognize and perform in accordance with the written terms, specifications and drawings only, contained or referred to herein. All material shall conform to bid specifications.

Work Force: Contractor shall designate a qualified representative with experience a maintenance/construction upgrades. The workforce shall be presentable at all times. All employees shall be competent and qualified.

License and Permits: Contractor shall maintain all Contractors' licenses, if required by state or local law, and will comply with all other license and permit requirements of the city, state and federal governments, as well as all other requirements of law.

Taxes: Contractor agrees to pay all applicable taxes, including sales tax where applicable on material supplied.

Insurance: Contractor agrees to provide general liability insurance, automotive liability insurance, worker's compensation insurance and any other insurance required by law or client standards.

Liability: Contractor shall indemnify the client/owner, its agents and employees from any liability arising out of the contractors' work. It is understood and agreed that the contractor shall not be liable for any damages whatsoever that are caused by the sole negligence or willful misconduct of the client/owner or indemnified party.

Subcontractors: Contractor reserves the right to hire qualified subcontractors to perform specialized functions or work requiring specialized equipment.

Utilities: All utilities necessary to perform the scope of this work shall be provided by the client/owner. Contractor agrees to practice reasonable care to include having the utilities located by an outside source while performing the scope of this work. The contractor will not be held responsible for unforeseen utilities, piping, wiring and other underground obstacles.

Additional Services: Any services rendered by contractor that are in addition to or beyond the written scope of work required by this contract shall be separately billed. In addition, any work not shown in the written specifications involving extra costs will be executed only upon written work order and will become an extra charge over and above the estimate.

Access to Job Site: Client/owner shall furnish access to all parts of the job site where contractor is to perform work as required by this contract or other functions related thereto during normal business hours and other reasonable periods of time.

Invoicing: Client/owner shall make payment to contractor within fifteen (15) days upon receipt of invoice. Invoice may be generated upon substantial completion of project. Invoice will be 100% due unless otherwise stated and agreed to in writing. Any balances past due shall be subject to interest at 18% per annum. If invoice is unpaid after fifteen (15) days contractor shall be entitled to the recovery of all cost associated with the collection of past due amounts including reasonable collection fees, attorneys' fees and court costs.

Warranty: All work performed on site will be guaranteed for sixty (60) days after substantial completion. Client/owner shall give contractor forty-eight (48) hours written notice to correct any problems or defects discovered in the performance of the work required under this contract. Contractor will not accept any deduction or offset unless such notice is given. Warranty excludes Acts of Nature including but not limited to frost, drought, freeze, hurricane, flooding, etc... and improper care by others. There is no warranty on transplanted material.

Termination: This work order may be terminated by either party with or without cause, upon thirty (30) days advance written notice. Client/owner will be required to pay for all work completed through the date of termination, reasonable demobilization cost, restocking fees and procurement cost up to date of termination. In addition the contractor shall be relieved of any obligation to continue performance under this contract.

Assignment: The client/owner and the contractor, respectively, bind themselves, their partners, successors, assignees and legal representatives to the other party with respect to all covenants of this work order. Neither the client/owner nor the contractor shall assign or transfer any interest in this agreement without the written consent of the other party.

Arbitration: The parties agree that in the interest of economy, speed and insuring continued good relationships, any question arising out of the operation of this agreement which the parties cannot resolve between themselves, shall be referred to binding arbitration under the rules of the American Arbitration Association or other arbitration tribunal. Both parties agree to abide by the findings of the arbitration.



General Terms and Conditions

Contractor's Responsibility: The contractor shall recognize and perform in accordance with the written terms, specifications and drawings only, contained or referred to herein. All material shall conform to bid specifications.

Work Force: Contractor shall designate a qualified representative with experience a maintenance/construction upgrades. The workforce shall be presentable at all times. All employees shall be competent and qualified.

License and Permits: Contractor shall maintain all Contractors' licenses, if required by state or local law, and will comply with all other license and permit requirements of the city, state and federal governments, as well as all other requirements of law.

Taxes: Contractor agrees to pay all applicable taxes, including sales tax where applicable on material supplied.

Insurance: Contractor agrees to provide general liability insurance, automotive liability insurance, worker's compensation insurance and any other insurance required by law or client standards.

Liability: Contractor shall indemnify the client/owner, its agents and employees from any liability arising out of the contractors' work. It is understood and agreed that the contractor shall not be liable for any damages whatsoever that are caused by the sole negligence or willful misconduct of the client/owner or indemnified party.

Subcontractors: Contractor reserves the right to hire qualified subcontractors to perform specialized functions or work requiring specialized equipment.

Utilities: All utilities necessary to perform the scope of this work shall be provided by the client/owner. Contractor agrees to practice reasonable care to include having the utilities located by an outside source while performing the scope of this work. The contractor will not be held responsible for unforeseen utilities, piping, wiring and other underground obstacles.

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Access to Job Site: Client/owner shall furnish access to all parts of the job site where contractor is to perform work as required by this contract or other functions related thereto during normal business hours and other reasonable periods of time.

Invoicing: Client/owner shall make payment to contractor within fifteen (15) days upon receipt of invoice. Invoice may be generated upon substantial completion of project. Invoice will be 100% due unless otherwise stated and agreed to in writing. Any balances past due shall be subject to interest at 18% per annum. If invoice is unpaid after fifteen (15) days contractor shall be entitled to the recovery of all cost associated with the collection of past due amounts including reasonable collection fees, attorneys' fees and court costs.

Warranty: All work performed on site will be guaranteed for sixty (60) days after substantial completion. Client/owner shall give contractor forty-eight (48) hours written notice to correct any problems or defects discovered in the performance of the work required under this contract. Contractor will not accept any deduction or offset unless such notice is given. Warranty excludes Acts of Nature including but not limited to frost, drought, freeze, hurricane, flooding, etc... and improper care by others. There is no warranty on transplanted material.

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LAKE UNDERHILL SHOPPING CENTER

CLEAN UP
REMOVE UNWANTED TREES
USE ROUND UP

100 MINIMA JASMINE @ 2.25

10 YARDS COMPOST/TOP DRESSING

3 SPECIMEN PLANTS
FOR ISLANDS @ 250

15 3 GALLON @ 15

75 1 GALLON @ 5

100 4 1/2" @ 2.25

20 SPATU @ 15

5 TONS RIVER ROCK @ 140

1 TON FLORIDA FIELD STONE
BOULDERS

7/5/201

\$ 1400.

2025

600

750

225

225

225

300

700

300

6750



HISCOX INSURANCE COMPANY INC. (A Stock Company)
104 South Michigan Avenue, Suite 600 Chicago Illinois 60603

Commercial General Liability Declarations

In return for the payment of the premium, and subject to all the terms of this Policy, we agree with you to provide the insurance as stated in this Policy.

Policy No. **UOC-1982937-CGL-17**

Named Insured **LAURENCE E. FOSGATE**

Address **1413 Oregon Street
Orlando, FL 32803**

Policy period From **May 23, 2017** To **May 23, 2018**
At 12:01 A.M. (Standard Time) at the address shown above

Form of Business	Individual/Sole Proprietor
Each Occurrence Limit	\$ 1,000,000
Damage to Premises Rented to You Limit	\$ 100,000 Any one premises
Medical Expense Limit	\$ 5,000 Any one person
Personal & Advertising Injury Limit	\$ 1,000,000 Any one person or organization
General Aggregate Limit	\$ 2,000,000
Products/Completed Operations Aggregate Limit	Products-completed operations are subject to the General Aggregate Limit
Supplemental Business Personal Property/Floater Coverage Limit	\$0
Supplemental Business Personal Property/Floater Coverage Deductible	Not Applicable

All Premises You Own, Rent or Occupy

Premises Number **1**

Address **1413 Oregon Street
Orlando, FL 32803**

Attachments: **See attached Forms and Endorsements Schedule**