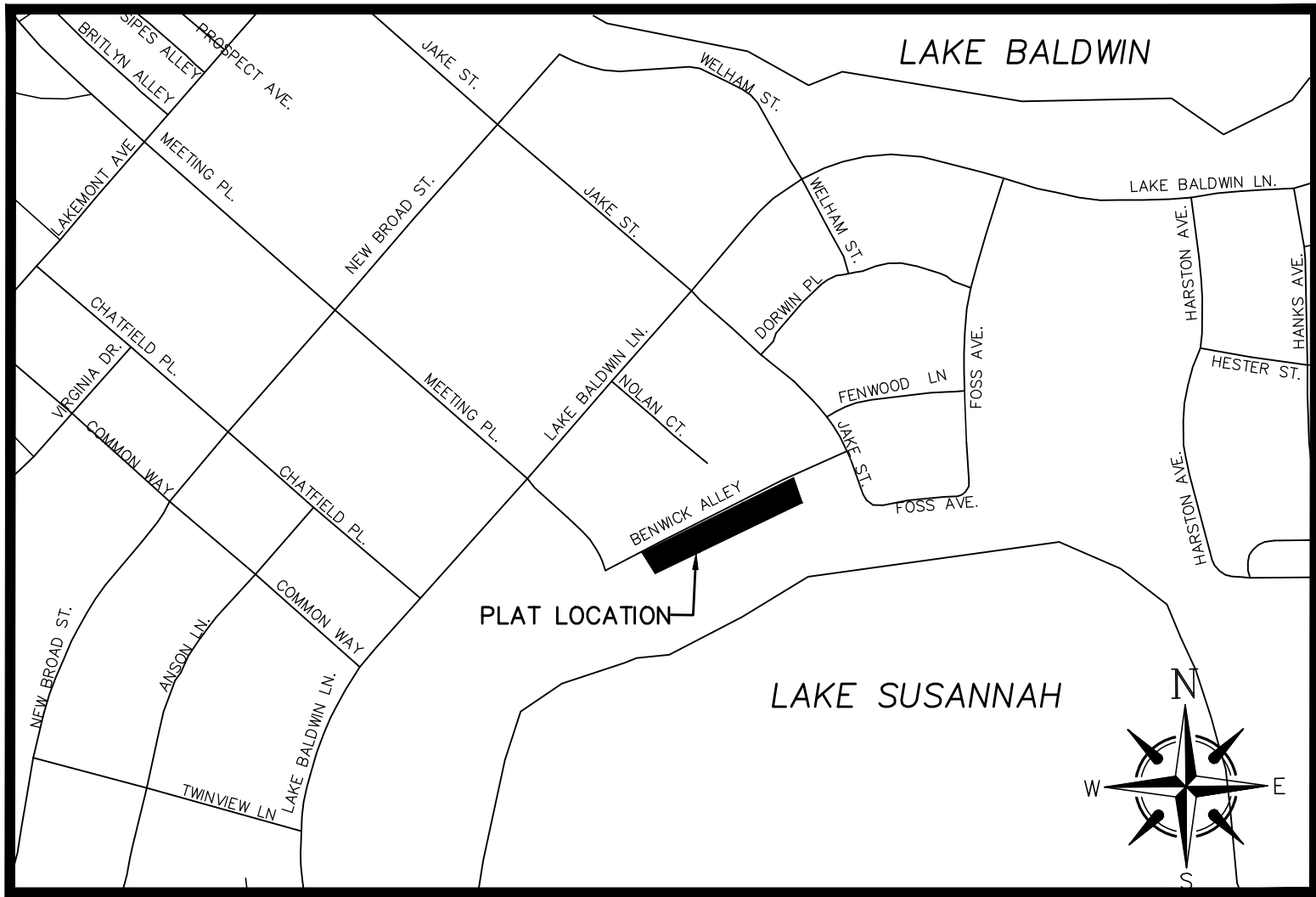


BALDWIN PARK UNIT 8A REPLAT 1

SHEET 1 OF 1

A REPLAT OF LOTS 1428, 1429, 1430 AND 1431 OF THE BALDWIN PARK UNIT 8A, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 61, PAGES 77 THROUGH 88, INCLUSIVE PUBLIC RECORD OF ORANGE COUNTY, FLORIDA PORTION SECTION 21, TOWNSHIP 22 SOUTH, RANGE 30 EAST CITY OF ORLANDO, ORANGE COUNTY, FLORIDA



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION

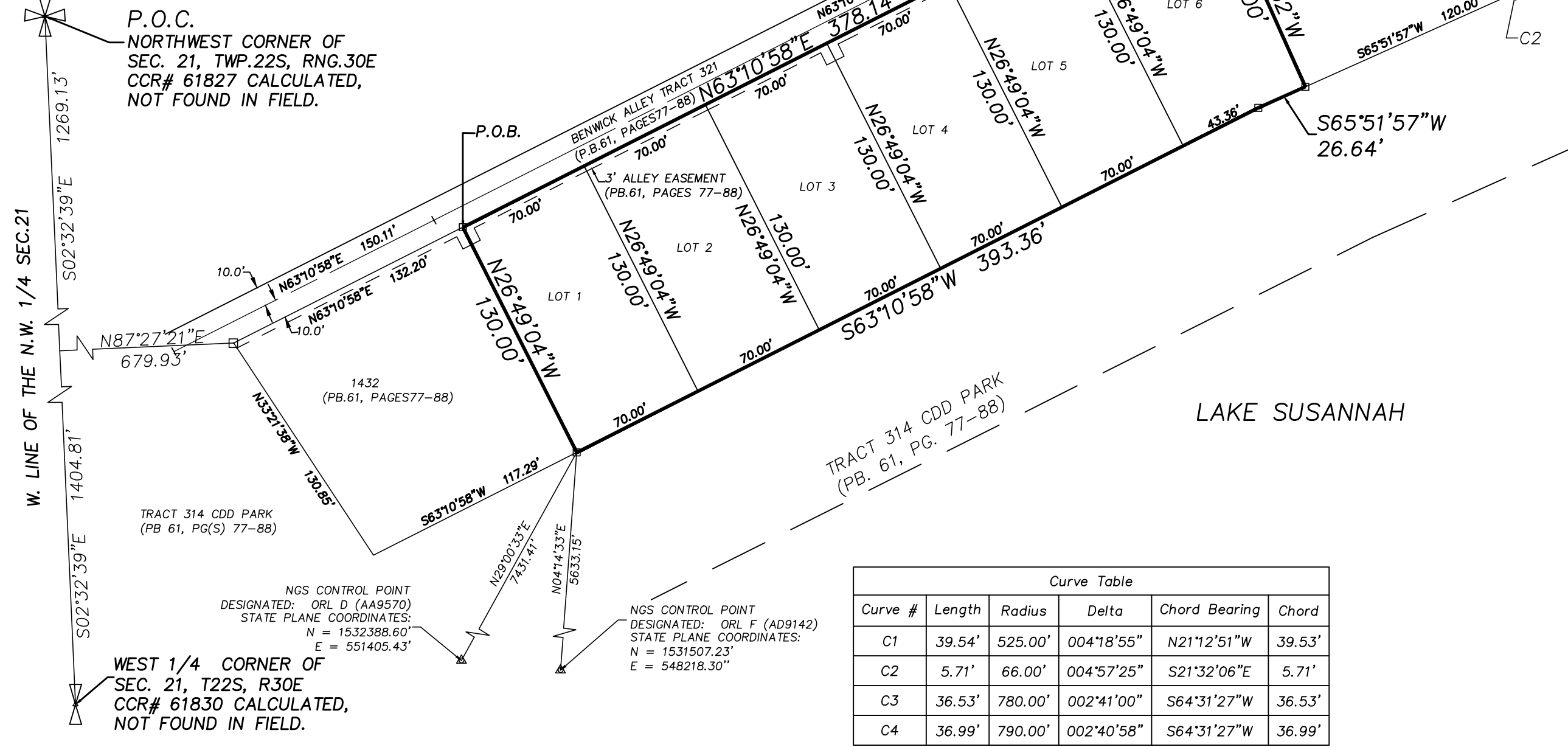
A PORTION OF LAND LYING IN SECTION 21,TOWNSHIP 22 SOUTH RANGE 30 EAST BEING MORE PARTICULARLY DESCRIBED AS:

LOTS 1428, 1429, 1430 AND 1431 OF BALDWIN PARK UNIT 8A AS RECORDED IN PLAT BOOK 61, PAGES 77-88 IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

ALSO DESCRIBED AS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 21, TOWNSHIP 22 SOUTH, RANGE 30 EAST; THENCE SOUTH ALONG THE WEST LINE OF SAID SECTION 21 SOUTH 02°32'39" EAST A DISTANCE OF 1269.13 FEET; THENCE NORTH 87°27'21" EAST, A DISTANCE OF 679.93 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF BENWICK ALLEY AS RECORDED IN PLAT BOOK 61, PAGES 77 THROUGH 88 AS OF THE OFFICIAL RECORDS OF ORANGE COUNTY, FLORIDA; THENCE NORTH 63°10'58" EAST ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 132.20 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 63°10'58" EAST ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 378.14 FEET TO THE POINT OF CURVATURE OF A RADIAL CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 780.00 FEET, A DELTA ANGLE OF 02°41'00", A CHORD BEARING OF NORTH 64°21'38" EAST AND A CHORD DISTANCE OF 36.53 FEET; THENCE EAST ALONG SAID CURVE A DISTANCE OF 36.53 FEET; THENCE NORTH 65°51'57" EAST, DEPARTING SAID CURVE, A DISTANCE OF 11.42 FEET; THENCE S24°07'52" EAST DEPARTING SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 130.00 FEET; THENCE SOUTH 65°51'57" WEST, A DISTANCE OF 26.64 FEET; THENCE SOUTH 63°10'58" WEST, A DISTANCE OF 393.36 FEET; THENCE NORTH 26°49'04" WEST, A DISTANCE OF 130.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 1.26 ACRES, MORE OR LESS.

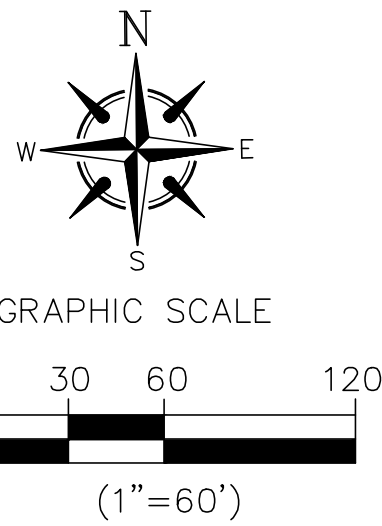


DRMP
ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS
941 Lake Baldwin Lane- Orlando, Florida 32814-Telephone - (407) 896-0594

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

LEGEND AND ABBREVIATIONS

- CONC. = CONCRETE
W/ = WITH
FND. = FOUND
IRC = IRON ROD AND CAP
N&D = NAIL AND DISK
ID = IDENTIFICATION
R/W = RIGHT OF WAY
DRWN. = DRAWN
CHKD. = CHECKED
FIRM = FLOOD INSURANCE RATE MAP
P.S.M. = PROFESSIONAL SURVEYOR
AND MAPPER
NGVD 29 = NATIONAL GEODETIC
VERTICAL DATUM OF 1929
SEC. = SECTION
TWP. = TOWNSHIP
RNG. = RANGE
LB = LICENSED BUSINESS
± = PLUS OR MINUS
- & = AND
= NUMBER
(F) = FIELD
(C) = CALCULATED
(D) = DEED
P.B. = PLAT BOOK
PG. = PAGE
F.B. = FIELD BOOK
O.R.B. = OFFICIAL RECORDS BOOK
NO. = NUMBER
INV. = INVERT
ELEV. = ELEVATION
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
● = SET 5/8" REBAR WITH PLASTIC CAP STAMPED
DRMP LB2648
□ = SET A 4"x4", 30" LONG MONUMENT WITH ALUMINUM
DISK STAMPED DRMP LB2648 PRM



SURVEYOR'S NOTES

- 1.) BEARINGS AS SHOWN HEREON ARE BASED ON THE SOUTH RIGHT OF WAY LINE OF BENWICK ALLEY ACCORDING TO THE PLAT OF BALDWIN PARK UNIT 8A PLAT, AS RECORDED IN PLAT BOOK 61, PAGES 77 THROUGH 88, IN THE PUBLIC RECORDS OFFICE OF ORANGE COUNTY, FLORIDA BEING A BEARING OF N63°10'38"E.
- 2.) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 3.) COPIES OF THIS PLAT ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER LISTED HEREON.
- 4.) THIS PROPERTY IS SUBJECT TO ALL AGREEMENTS, ASSESSMENTS, EASEMENTS, EXCEPTIONS, COVENANTS, CONDITIONS, RESERVATIONS, RESTRICTIONS AND OTHER ENCUMBRANCES RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND LISTED IN THE FIRST AMERICAN TITLE INSURANCE COMPANY'S TITLE COMMITMENT, FILE NUMBER: 2037-3747003, EFFECTIVE DATE JUNE 28, 2017 AT 8:00AM INCLUDING:
1. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AS SET FORTH IN QUICK CLAIM DEEDS RECORDED OCTOBER 28, 1999 IN OFFICIAL RECORDS BOOK 5869, PAGE 970 (AS MODIFIED BY RELEASE OF DEED RESTRICTION RECORDED JUNE 3, 2002 I OFFICIAL RECORDS BOOK 6536, PAGE 4095) AND RECORDED OCTOBER 28, 1999 IN OFFICIAL RECORDS BOOK 5869, PAGE 2469, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
2. INTERIM ACCESS AND INDEMNITY AGREEMENT RECORDED DECEMBER 4, 2002 IN OFFICIAL RECORDS BOOK 6689, PAGE 3083, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
3. PLAT OF BALDWIN PARK UNIT 8S, AS RECORDED JUNE 7, 2005, IN PLAT BOOK 61, PAGES 77-88, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

5.) ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE UTILITY SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES.

6.) DEVELOPMENT ON THIS PROPERTY DEPICTED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS OF CHAPTER 59, THE CONCURRENCY MANAGEMENT ORDINANCE OF THE CITY OF ORLANDO, WHICH GOVERNS THE CITY'S ABILITY TO ISSUE BUILDING PERMITS ON THIS PROPERTY. APPROVAL OF THIS PLAT SHALL NOT BE DEEMED TO PROVIDE ANY VESTED RIGHTS, EXCEPT AS TO THOSE MATTERS DEPICTED HEREON, THAT ARE CONSISTENT WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, OR WERE REQUIRED BY THE CITY OF ORLANDO AS A CONDITION OF PLATTING.

PLAT BOOK: PAGE:

BALDWIN PARK UNIT 8A REPLAT 1
DEDICATION

BALDWIN PARK UNIT 8A REPLAT 1
CERTIFICATE OF DEDICATION

KNOW ALL MEN BY THESE PRESENTS, that Orlando NTC Partners, a Joint venture, a Florida joint venture, also known as Baldwin Park Development Company (BPDC) being the owner in fee simple of certain lands described in the foregoing caption to this plat, hereby dedicates the said lands and plat for the use and purposes herein expressed.

IN WITNESS WHEREOF, BPDC has caused these presents to be signed and attested to or witnessed by the officer and individual named below on the date set forth in the notary acknowledgement.

WITNESSES: _____

Print Name: _____

ORLANDO NTC PARTNERS, A JOINT VENTURE, A FLORIDA JOINT VENTURE, D/B/A BALDWIN PARK DEVELOPMENT COMPANY

By:Orlando Naval Investors, L.P., a Delaware limited partnership, its Managing Venturer

By:Orlando Naval GP Corp., a Delaware corporation, its General Partner

By: _____
Name: _____
Title: _____
Print Name: _____

STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

I HEREBY CERTIFY that, on this _____ day of _____, 2017, before me, an officer duly authorized to take acknowledgments in the State and County aforesaid, personally appeared _____ who is personally known to me, as _____ of Orlando NTC Partners, a Joint Venture, a Florida joint venture, executed the foregoing Dedication and acknowledged the execution thereof to be of his free act and deed as such officer thereunto duly authorized and that the said Dedication is the act and deed of said joint venture.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the above date.

NOTARY PUBLIC

Signature: _____

Print Name: _____

Commission Number: _____

My Commission Expires: _____

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, That on the _____, the _____, the _____ approved the foregoing plat.

MAYOR PRO TEM _____

ATTEST: _____ City Clerk

CERTIFICATE OF APPROVAL BY
CITY PLANNING OFFICIAL

Examined and Approved: _____ Date: _____

City Planning Official: _____

CERTIFICATE OF APPROVAL BY CITY ENGINEER

Examined and Approved: _____ Date: _____

City Engineer: _____

CERTIFICATE OF REVIEW BY CITY SURVEYOR

Reviewed for conformity to Florida State Statute 177

City Surveyor: _____

Date: _____

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records on _____ as File No. _____ County Comptroller in and for Orange County, Florida

By _____

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL BY THESE PRESENTS, That undersigned, being a professional surveyor and mapper that has prepared the foregoing plat and was made under my direction and supervision and that the plat complies with all of the survey requirements of Chapter 177, Florida Statutes; and that said land is located in the City of Orlando, Orange County, Florida.

Date: _____

Signed: DRMP LB2648
MITCHELL R. JARRELLS, PSM #6438
DRMP, INC.
941 LAKE BALDWIN LANE
ORLANDO, FL 32814