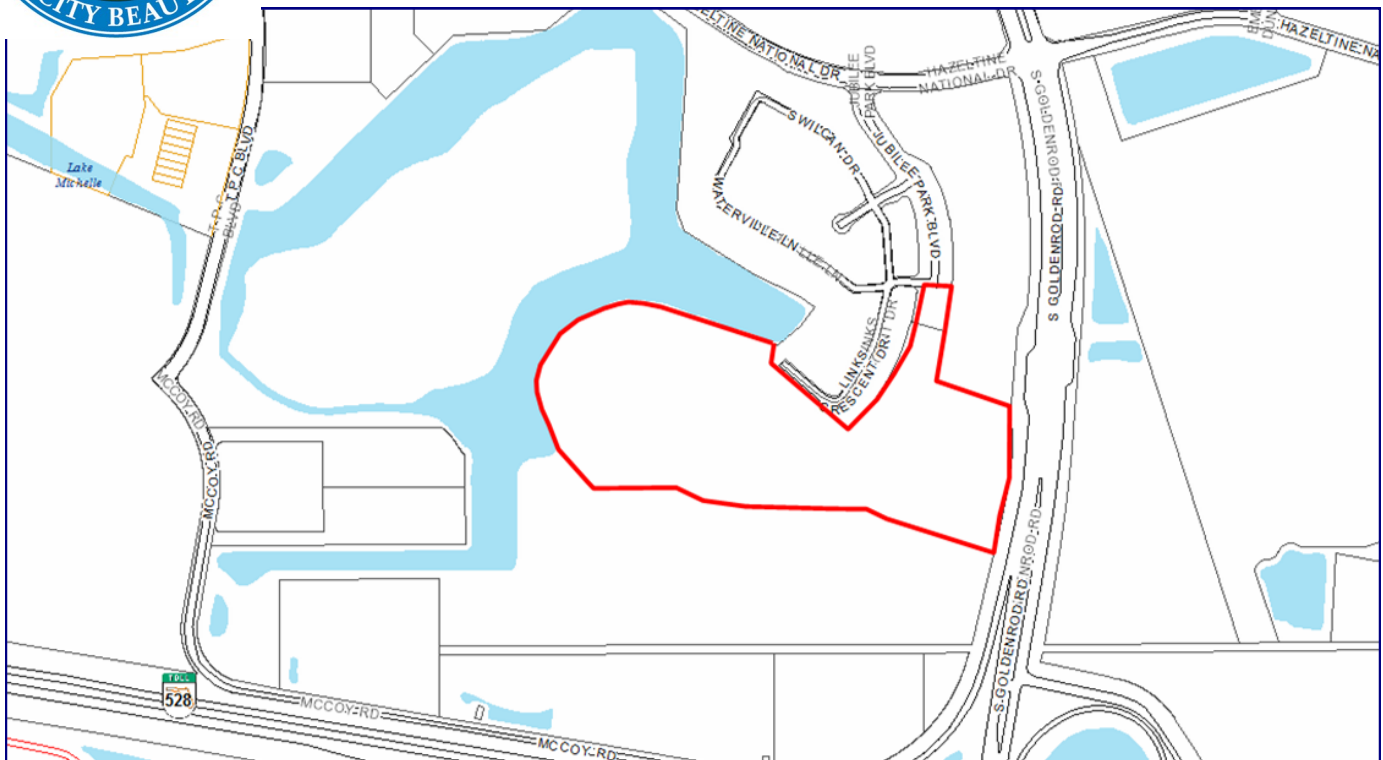




JUBILEE PARK PHASE II APARTMENTS



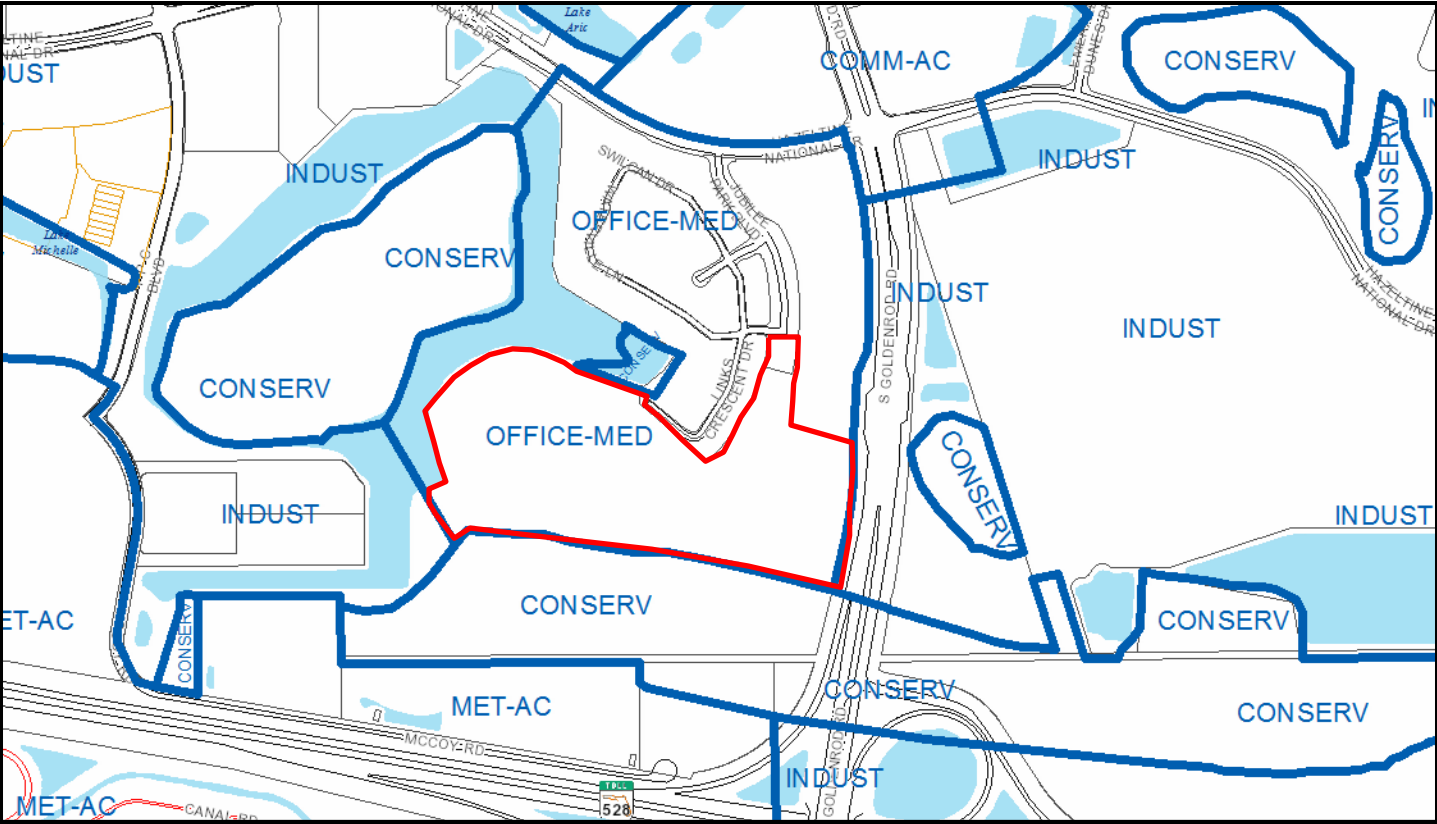
Location Map

 Subject Site

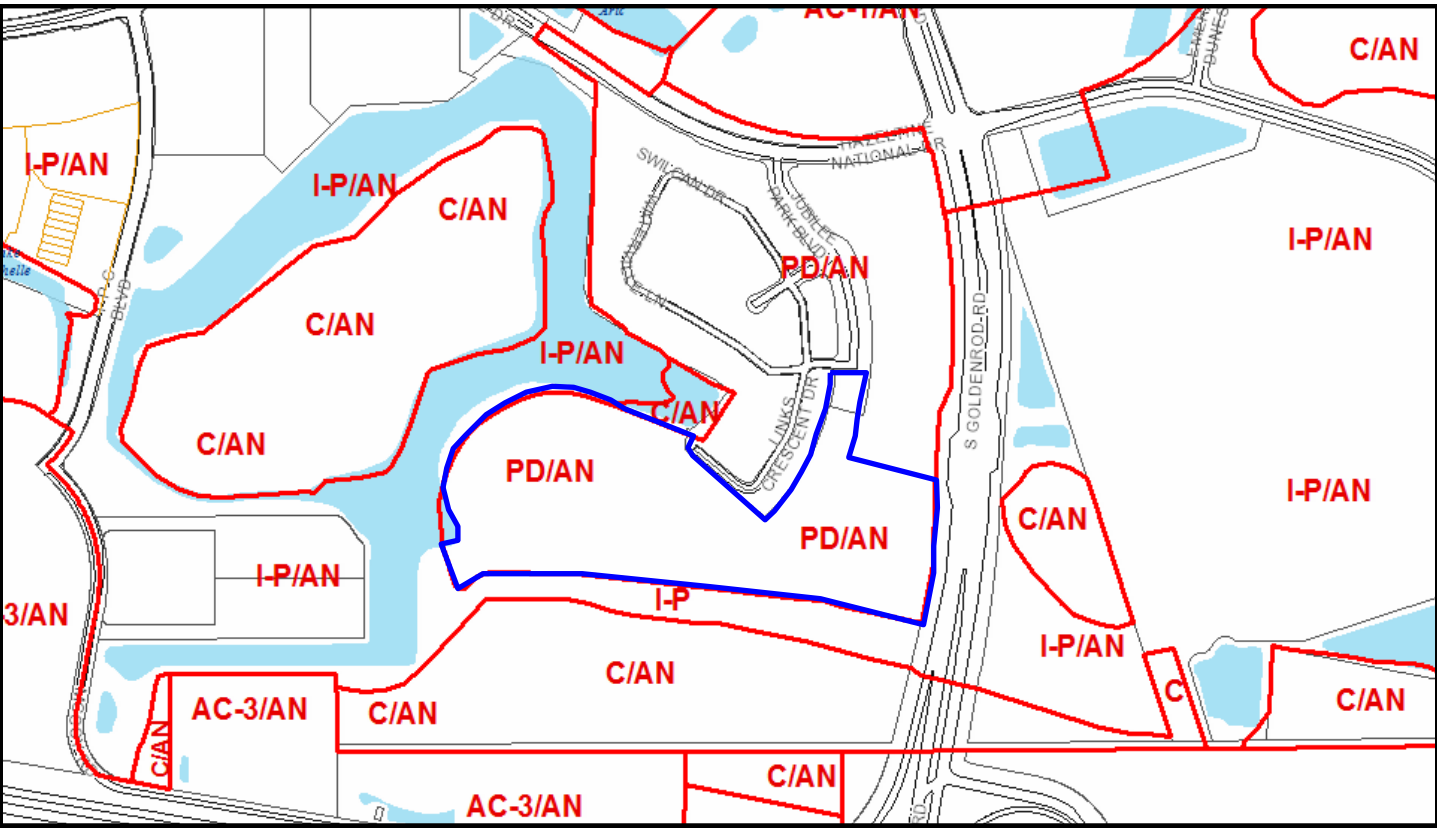
SUMMARY

<p>Owner</p> <p>Richard Lee, President Famlee Investment Company</p> <p>Applicant</p> <p>Sam Seballi, President Florida Engineering Group</p> <p>Project Planner</p> <p>Jacques Coulon, Planner I</p> <p>Updated: August 2, 2016</p>	<p>Property Location: 6708 Hazeltine National Dr. (PID: 26-23-30-0000-00-006) or nearby location (South side of Hazeltine National Dr., west of S Goldenrod Rd., east of McCoy Rd & T P C Dr.) (±28.1 acres, District 1).</p> <p>Applicant's Request: Master Plan for Phase 2 within the Jubilee Park Planned Development (PD) to accommodate the construction of three hundred twelve (312) apartment units on a ±28.1 acre portion of land within the PD.</p>	<p>Staff's Recommendation: Approval of the request, subject to the conditions in this report.</p> <p>Public Comment Courtesy notices were mailed to property owners within 300 ft. of the subject property the week of August 1, 2016. As of the published date of this report, staff has not received any comments from the public concerning this request.</p>
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FUTURE LAND USE MAP



ZONING MAP



PROJECT ANALYSIS

Project Description

The applicant is proposing the construction of 312 apartment units in 26 buildings within Phase 2 of the Jubilee Park Planned Development (PD). Jubilee Park Phase 1 is located on the northwest corner of the PD and contains 330 apartments and an access road off of Hazeltine National Dr.. Per the PD each subsequent phase of development must go through the full Master Plan Approval process, including review by the Municipal Planning Board (MPB) prior to submitting for building permits. The applicant is proposing to stay within the guidelines and allowances set forth in the PD and default zoning.

Previous Actions:

1984 - LeeVista Center DRI approved.

2007 - Letter of Determination issued stating that the DRI is vested for 528 residential units.

2007 - MPB recommended approval of Future Land Use change from Industrial Park to Office Medium

2007 - MPB recommended approval of the request to rezone property to PD/AN to allow development of 1,064 multi-family units. (ZON2007-00042)

2009 - Lee Vista Center DRI last amended.

Project Context

The Jubilee Park PD is generally located southwest of the Hazeltine National Boulevard and the S. Goldenrod Road intersection and is located within the Lee Vista DRI. While the overall Jubilee Park PD consists of approximately ±63.42 acres of land this application is specific to Phase II (the subject phase and property) which comprises ±28.1 acres of land within the PD. The applicant requests to construct up to 1,064 multi-family dwelling units (16.8 du/ac) The subject property is currently zoned PD with the Airport Noise overlay, and a future land use designation of Office Medium Intensity. As previously mentioned Phase I of the PD has already been approved and constructed. Phase 1 is located on the northwest corner of the PD, immediately south of Hazeltine National Dr. and west of Jubilee Park Blvd.. Phase 2 is directly south and south east of Phase 1 at comprising the southern section of the PD. Phase 3 has not yet been developed and constitutes the other northern adjacent property to the proposed apartments. S. Goldenrod Rd. serves as the eastern border of the project with conservation and industrial uses to the south and west. (See table 1 for additional details regarding surrounding properties)

Table 1—Project Context

	Future Land Use	Zoning	Surrounding Use
North	Office Medium Intensity (OFFICE MED)	Planned Development (Jubilee Park Phases I and III), Aircraft Noise Overlay (PD/AN)	Jubilee Park Phase 1 (Apartments), Jubilee Phase 2 (vacant land)
East	Industrial (INDUST)	Industrial Park, Aircraft Noise Overlay (I-P/AN)	S. Goldenrod Rd., Tollbooth, Stormwater retention Across Rd.
South	Conservation (CONSERV)	Conservation, Aircraft Noise Overlay (C/AN)	Conservation Area, Trees
West	CONSERV & INDUST	I-P/AN & C/AN	Conservation, Warehouses

Conformance with the GMP

Located in the Jubilee Park Planned Development and the Lee Vista Development of Regional Impact, the +/-28.1 acre subject site is generally south of Hazeltine National Dr. and Jubilee Park Blvd., north of the SR 528, west of Goldenrod Rd. and east of McCoy Road. The applicant is requesting a SPMP to allow the development of a 312 unit apartment complex.

Surrounding uses include multifamily to the north, canal and conservation to the south, Publix distribution center and conservation to the east, while to the west, of a portion of the proposed site, is multifamily and Conservation.

The 28 ac. site is undeveloped. The proposed multifamily use is compatible with abutting uses and was contemplated as part of the 2009 PD.

Surrounding future uses include Conservation and Office Medium Intensity to the north, Office Medium and Conservation to the south, Industrial and Conservation to the east and Office Medium to the west. Associated zoning to the north includes Planned Development (PD) and the Aircraft Noise (/AN) Overlay and C (Conservation) with AN overlay, to the south is I-P/AN (canal area) and

C/AN, to the east is I-P/AN and C/AN while to the west is I-P/AN (canal).

Allowable uses in the Office Medium Intensity future land use designation include office, residential, and public, recreational and institutional. The proposed residential use is allowable. The Office Medium Intensity has a maximum FAR of 0.70 and a maximum density of 40 du/ac. and a minimum FAR of 0.30 and a minimum density of 12/ac. The proposed density is 11 du/ac. which is below the required Office Medium minimum of 12 du/ac. (312 du/28.1 ac). However, Phase 1 includes 330 units on 23.87 units, resulting in a cumulative density of 12.3 du/ac, which meets the minimum.

The subject site is also located within the larger Lee Vista DRI. A total of 330 dwelling units have been developed, out of a possible DRI assignment of 672 dwelling units. (FYI: Any dwelling units in excess of 672 dwelling units will require a DO amendment. This is different from the PD ordinance dwelling unit approval allowance which is a subset of the DRI). Of the remaining dwelling unit allocation, a total of 198 are “vested units” that were approved as part of the DRI while 144 are “unvested” units that are allowed as a result of converting from other uses in the DRI, for a total of 342 dwelling units. Unvested units will require review by the Orange County School Board for capacity and concurrency. The applicant is proposing 312 dwelling units and so 114 are unvested.

The Comprehensive Planning Studio has no objections to this master plan request subject to an approved Orange County Public Schools capacity enhancement agreement (CEA) for 144 unvested dwelling units between the developer and OCPS, prior to the approval of the master plan by City Council. Also, the applicant should be aware that only 30 units remain in the DRI, therefore Phase 3 cannot be approved until the DRI is amended, or another land use conversion is approved.

Conformance with the LDC

The property is located within the Jubilee Park Planned Development (PD) which was adopted in 2008. The proposed use of multi-family is specifically permitted within the PD ordinance and the proposed plan meets all guidelines in regards to FAR, ISR, and setbacks. As previously mentioned the property is located within the Aircraft Noise Overlay. Due to the subject property's proximity to the Orlando international Airport, an Aircraft Noise analysis was performed at the time of PD zoning application. The property is located in Aircraft Noise Control Zone D. According to Future Land Use Policy 2.4.11, in Zone D, the required Sound Level Reduction for multi-family residential is 25 dB. In addition to this required control, Section 58.381 of the Land Development Code also requires a waiver of claim and notification for residential uses in Control Zone D. The proposed multi-family residential development would be compatible with the surrounding uses provided that the noise attenuation requirements are met per the City's Land Development Code.

Development Standards:

The underlying zoning for Phases 1 and 2 is R-3C. Unless specifically addressed in the PD, all development must comply with the requirements of the underlying-(default) zoning. Residential density within JubiLee Park will be based on the PD as a whole, but no individual phase shall exceed a maximum density of 40 dwelling units per acre and all three phases shall not exceed 1,064 dwelling units. As detailed in Table 2 below and Table 3 on the following page the proposed development meets the development standards of the PD and underlying zoning.

Table 2—Development Standards

Phase	Acreage	Use	Sq. Ft./ Dwelling Units	Density (dwelling units per acre)		Building Height		ISR (impervious surface ratio)	
				Minimum / Maximum	Proposed	Minimum /Maximum	Proposed	Maximum	Proposed
1	23.87	Multi-Family Residential (completed)	330 du	12/40 du/acre	13.82 du/acre	0 ft. / 55 ft.	< 55 ft.	0.80	0.80
2	28.1	Multi-Family Residential	312 du	12/40 du/acre	11.1 du/acre	0 ft. / 55 ft.	34 ft.	0.80	0.53
3	12.33	Vacant	TBD	12/40 du/acre	TBD	0 ft. / 65 ft. (residential) 0 ft. / 75 ft. (office)	TBD	0.80	TBD
Total	64.3	Residential, Office	642	12/40 du/acre	**12.35 du/acre	N/A	N/A	N/A	N/A

*Residential density within JubiLee Park is based on the PD as a whole, but no individual phase shall exceed a maximum density of 40 dwelling units per acre and all three phases shall not exceed 1,064 dwelling units.

** The total du/acre only includes Phases 1 and 2; Phase 3 will be calculated at time of that SPMP

Setbacks and Bufferyards

As a condition of this report there shall be a minimum 35 ft. buffer from the normal high water elevation of the lake. Only sidewalks shall be permitted in the buffer area. The lake adjacent to the subject property is artificial and therefore not bound by the 50 ft. lake setback for natural water bodies. The intent of the buffer yard requirement is to ensure ample room for a sidewalk, limit Storm water run-off, allow for littoral plantings, and preserve views from apartments. (See Table 3)

Table 3—Setback and Landscaping Requirements

Use or Phase	Street/Area	Building Setbacks		Landscaping/Buffers	
		Minimum /Maximum	Proposed	Required*	Proposed
Phase II	Goldenrod Rd.	25 ft. from ROW/ no max	25 ft. min	25 ft.	25 ft. min
	JubiLee Park Blvd.	15 ft. from BOC / no max.	22 ft. min	15 ft.	22 ft. min
	Between phases/lot lines	15 ft./ no max	23 ft. min	15 ft.	23 ft. min
	Normal High water mark	35 ft. / no max.	55 ft. min	35 ft	55 ft. min

* Dimensions refer to range of acceptable buffer depth; each requires plantings and/or screen wall

Transportation

Access to the site is from Hazeltine National Dr. via Jubilee Park Blvd. which was constructed as part of Phase 1. The applicant proposes to extend Jubilee Park Blvd. slightly to the south to accommodate an entrance with gate for the Phase 2 apartments. Sufficient queuing is provided on site to allow cars to navigate the gate and entrance into the apartment site without normal queuing encroaching onto Jubilee Park Blvd.. A secondary egress is also provided from the southeastern portion of the Phase 2 development to Jubilee Park Boulevard.

Parking

According to the proposed unit mix, Phase II requires 518 parking spaces and provides 675 spaces (see table below). Parking will be provided in surface parking lots adjacent to the apartment buildings and in garages depending on the building type. There will be a total of 156 spaces available within enclosed garages. With the exception of the garages and associated tandem spaces adjacent to the garages there is no assigned parking. The applicant proposes 32 bicycle parking spaces, 18 short term, 18 long term, which meets minimum code requirements. The applicant details that short-term bicycle storage will be located in the vicinity of the clubhouse with long-term bicycle storage will be located internal to the buildings. In addition those residents with a garage can use the garage for additional covered bicycle parking.

Table 4—Parking Requirements (Phase 2)

Unit Type	Sq. Ft./ Dwelling Units	Minimum Ratio	Minimum Spaces Required	Maximum Ratio	Maximum Spaces Permitted
1 bed	130	1.5	195	N/A	N/A
2 bed	163	1.75	285	N/A	N/A
3 bed	19	2	38	N/A	N/A
Total Required	N/A	N/A	518	N/A	N/A
Total Provided	675				

Sidewalks/Pedestrian Circulation

Continuous pedestrian access is provided along Jubilee Park Boulevard and throughout the proposed development. In addition, a 6 ft. wide sidewalk is provided along the perimeter of the project adjacent to the lake and the wetlands. This sidewalk will connect to the Phase I sidewalk at the terminus of the Phase I sidewalk in the southwest corner of the Phase I development. Connections from the apartment units, clubhouse, internal pocket parks, and other amenities are provided to the perimeter sidewalk, which will also act as an amenity for the overall development. Connections from the apartment units, clubhouse, internal pocket parks, and other amenities are also provided to the 5 ft. sidewalks located adjacent to the parking areas, which will also provide internal pedestrian connectivity throughout the development.

Architecture/Urban Design

As previously stated the applicant is proposing to build 312 apartment units in 26 two to three story apartment buildings. The buildings are located in two general groupings on the site with 8 apartment buildings and a single story garage building on the eastern portion of the site with the remaining 18 buildings in a broad loop on the western portion of the site. Surrounding the entire site is a

series of pedestrian pathways winding through open and landscaped spaces. There are also a number of open spaces between many of the buildings to serve as recreation space for residents. The main leasing building/clubhouse and pool are centrally located directly south of the entrance into the development. As previously mentioned many of the apartment buildings contain garages on the first floor of the buildings serving attached units. The remainder of the required parking is located within surface lots spread throughout the development.

Signage

No signage is specifically proposed but a sign master plan must be applied for and approved prior to the issuance of building permits, all sign shall conform to Chapter 64 of the City's Land Development Code.

InfrastructureWater:

New sewer infrastructure to serve this project was installed as part of Phase 1. The Wastewater Division shall review construction plans for permitting. This project will connect to the existing water utility infrastructure on Hazeltine National Drive and gravity sewer utility at the existing terminus of Jubilee Park Boulevard, respectively. A sanitary sewer lift station will be required due to the shallow depth of the existing sanitary sewer manhole at the point of connection. Reclaimed water is also anticipated to connect to existing reclaimed water at Hazeltine National Drive.

Storm Water:

The subject project is within the overall Jubilee Park development covered by Jubilee Park SJRWMD Permit 40-095-19889-60 issued on November 12, 2013. According to the permitted storm water report, Phase II is to drain to Lake Lee, aka Basin D2. Basin D2 is designed to receive runoff from its contributing drainage area based on a 75% impervious cover. The preliminary paving, grading and drainage plans included in Specific Parcel Master Plan set on Sheets C-7A, C-7B, and C-7C show discharge from the project to Lake Lee consistent with the permit for the overall Jubilee Park development.

Solid Waste:

The applicant has proposed a dumpster enclosure to be located directly to the west of the entrance to Phase 2 off of Jubilee Park Blvd. The applicant has indicated that there will be a valet trash service throughout Phase 2.

Public Safety:

The Orlando Police Department has reviewed the plans for Jubilee Park Phase 2 multi-family development located at 6708 Hazeltine national Dr., utilizing CPTED (Crime Prevention Through Environmental Design) principles. CPTED emphasizes the proper design and effective use of a created environment to reduce crime and enhance the quality of life. There are four overlapping strategies in CPTED that apply to any development: Natural Surveillance, Natural Access Control, Territorial Reinforcement and Target Hardening.

Parks:

For informational purposes: The City is in the process of implementing a Parks Impact Fee on all residential housing units to help meet the recreation needs of Orlando's residents. Any new housing units will be subject to the fee once it is approved.

School Impacts

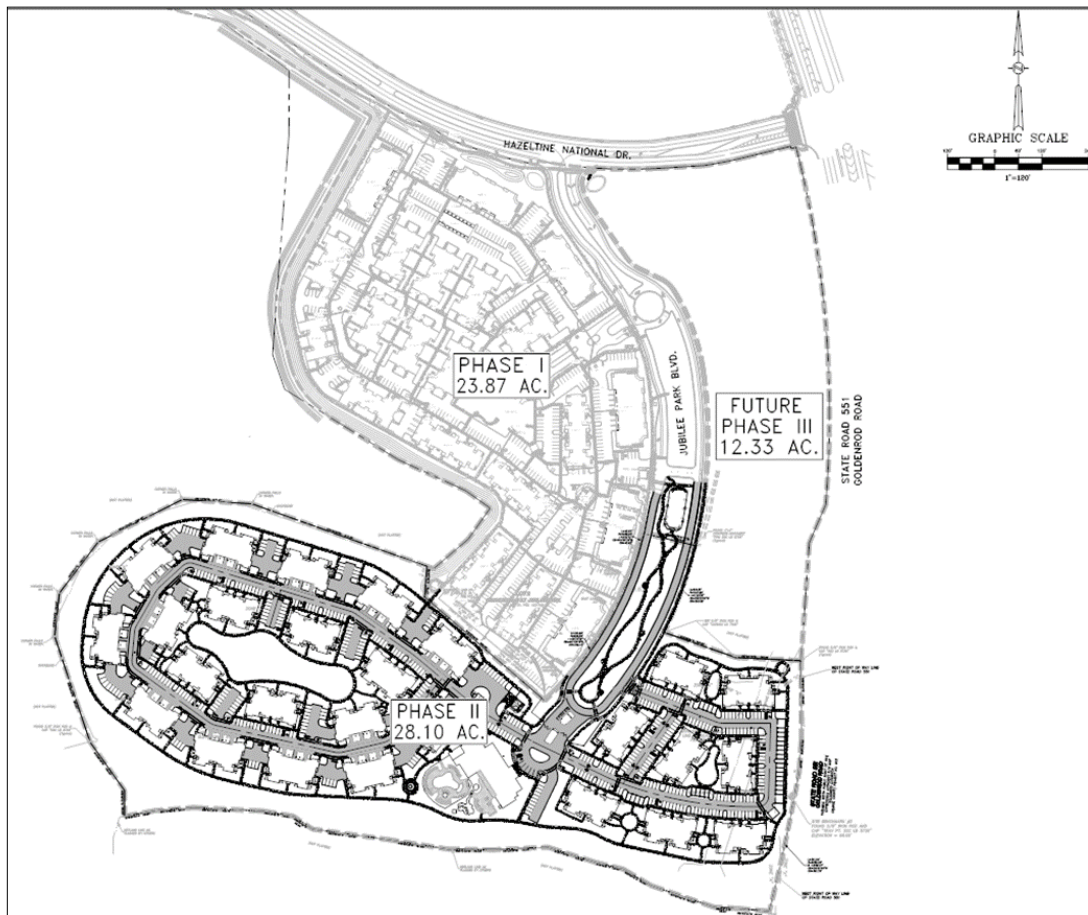
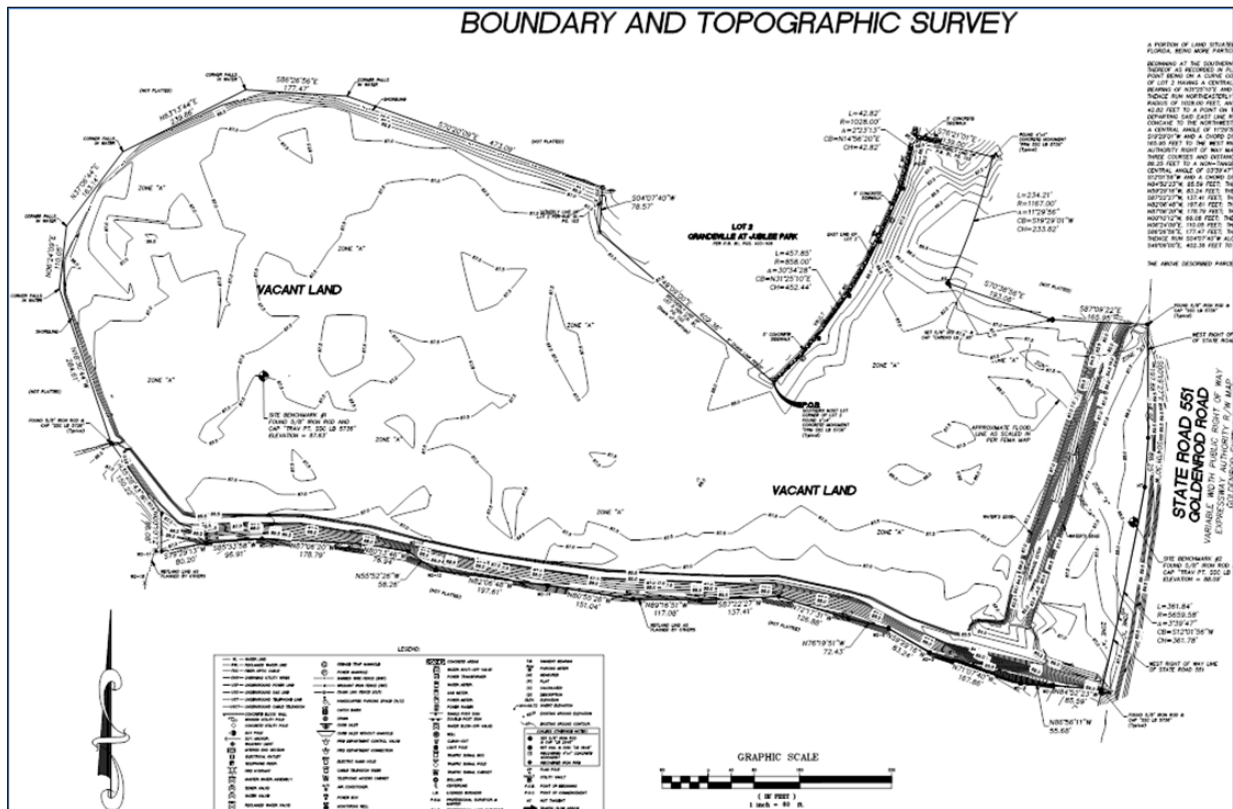
On July 7, 2008, the City adopted a Public School Facilities Element (PSFE) and the Amended Interlocal Agreement for Public School Facility Planning and Implementation of Concurrency which requires all residential developments be subject to school concurrency review. A list of exemptions from this review is provided under Section 16.2 of the Agreement. Included in the list of exemptions are DRIs that have filed a complete application for a development order prior to May 1, 2005 (Section 16.2(j)).

The subject site is also located within the larger Lee Vista DRI. A total of 330 dwelling units have been developed, out of a possible DRI assignment of 672 dwelling units. Of the remaining dwelling unit allocation, a total of 198 are "vested units" that were approved as part of the DRI while 144 are "unvested" units that are allowed as a result of converting from other uses in the DRI, for a total of 342 dwelling units. Unvested units will require review by the Orange County School Board for capacity and concurrency. The applicant is proposing 312 dwelling units and so 114 are unvested. The master plan request is subject to an approved Orange County Public Schools capacity enhancement agreement (CEA) for 144 unvested dwelling units between the developer and OCPS, prior to the approval of the master plan by City Council.

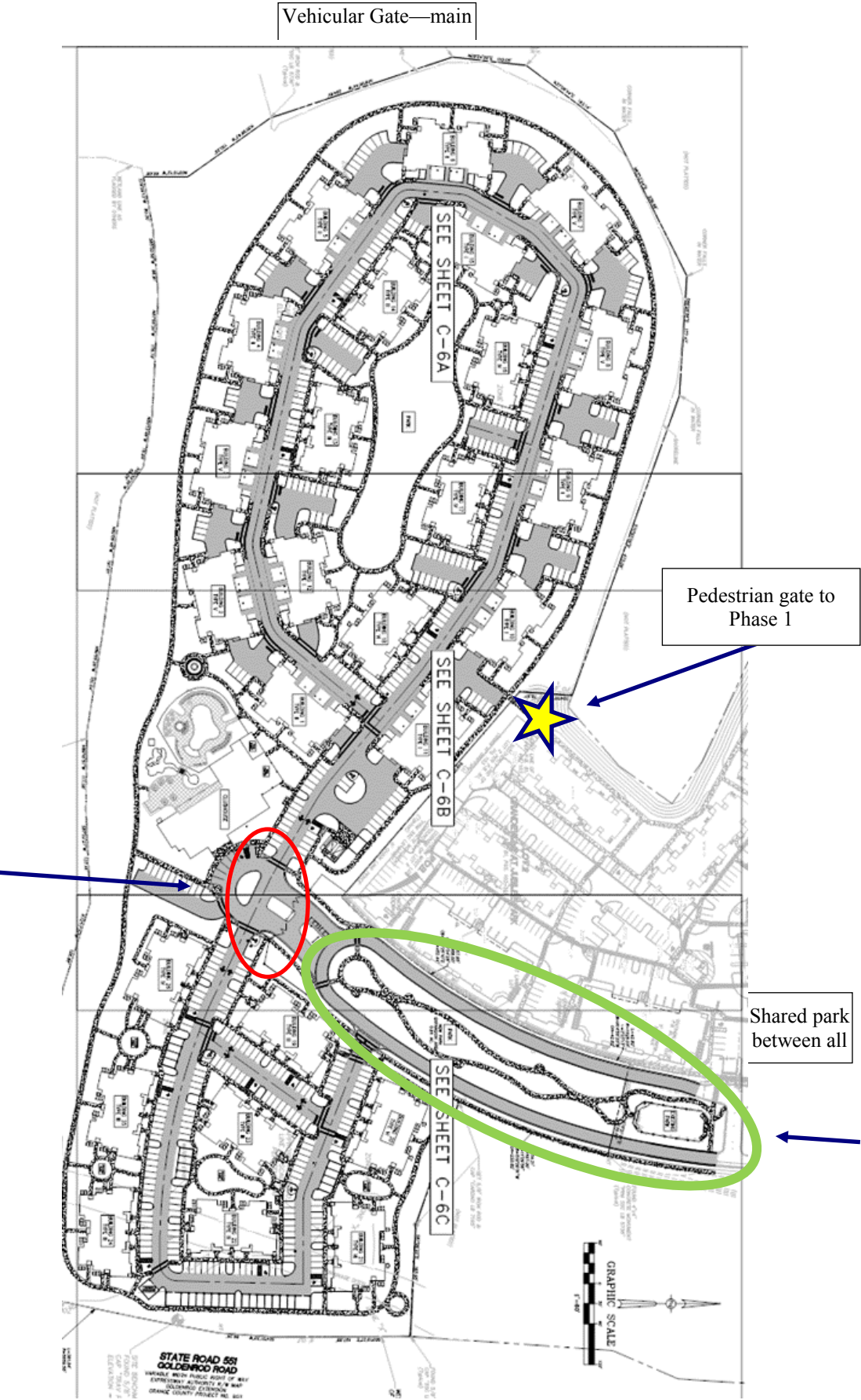
AERIAL PHOTO



EXISTING SURVEY AND PHASING PLAN



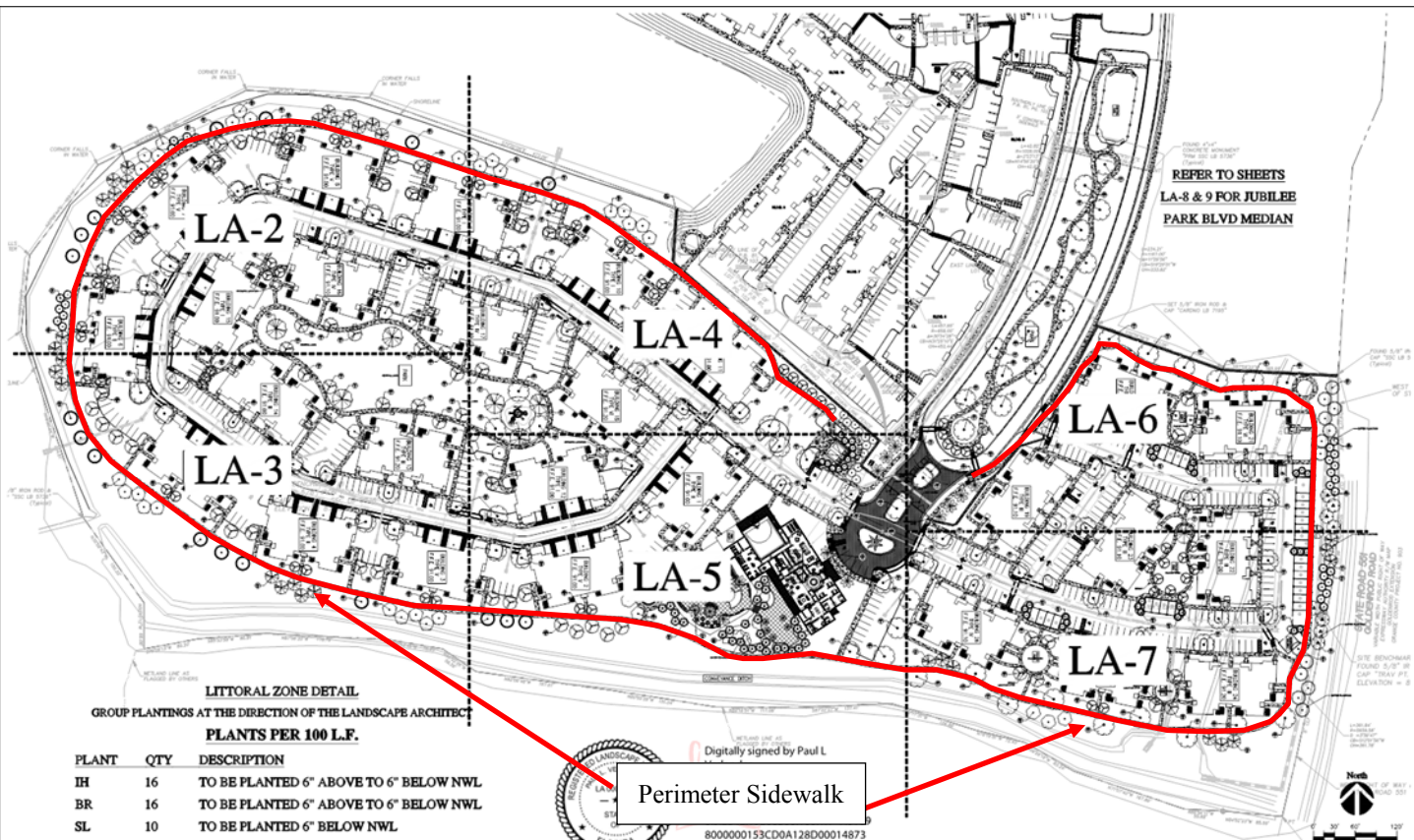
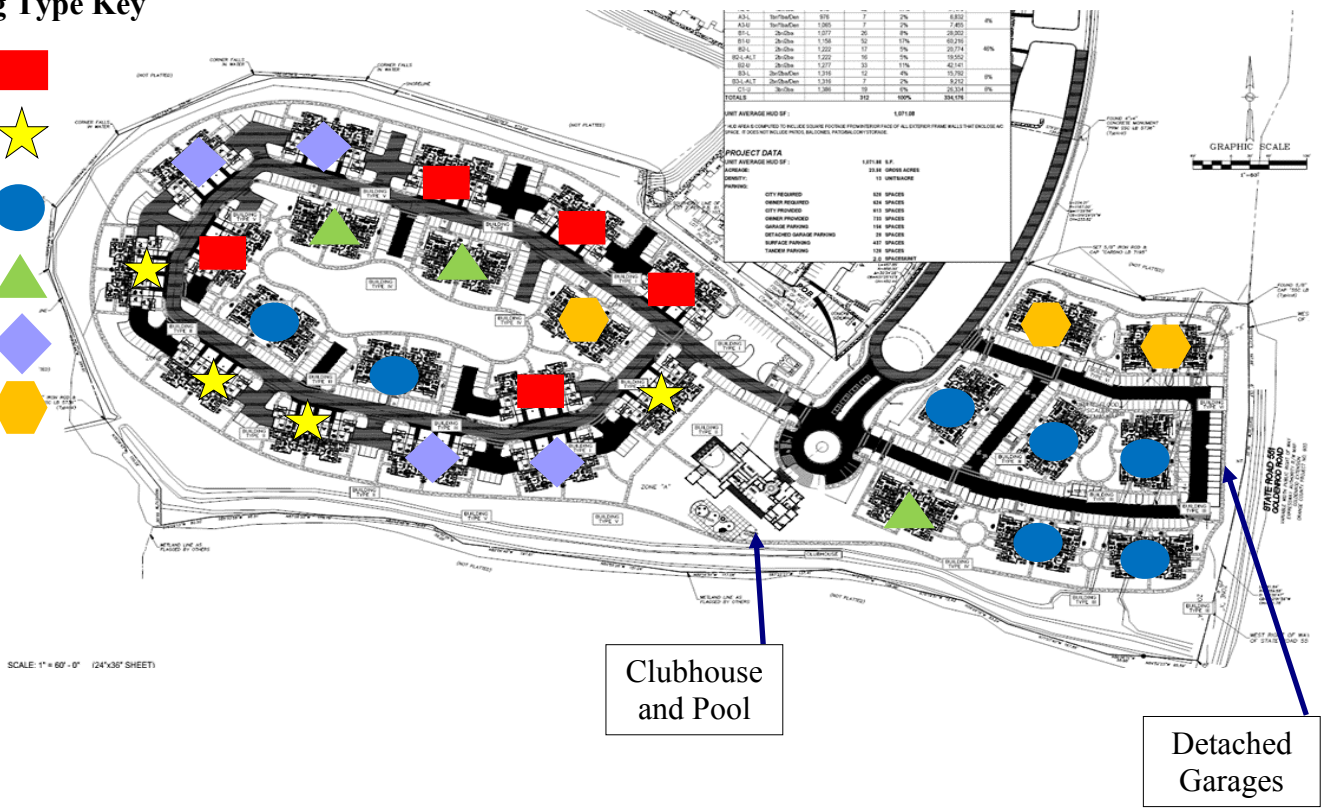
SITE PLAN



BUILDING TYPE OVERVIEW AND SIDEWALK DETAILS

Building Type Key

- Type 1 ■
- Type 2 ★
- Type 3 ●
- Type 4 ▲
- Type 5 ◆
- Type 6 ⬡



BUILDING TYPE 1 ELEVATIONS



FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

BUILDING TYPE 2 ELEVATIONS



FRONT ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

BUILDING TYPE 3 ELEVATIONS



FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

BUILDING TYPE 4 ELEVATIONS



FRONT ELEVATION



REAR ELEVATION



RIGHT & LEFT SIDE ELEVATION

BUILDING TYPE 5 ELEVATIONS



FRONT ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

BUILDING TYPE 6 ELEVATIONS



FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

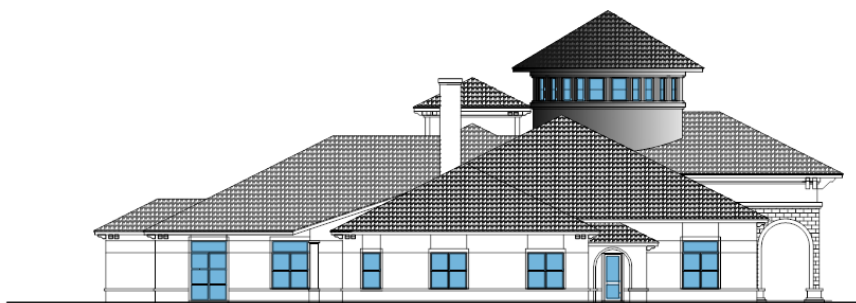


RIGHT SIDE ELEVATION

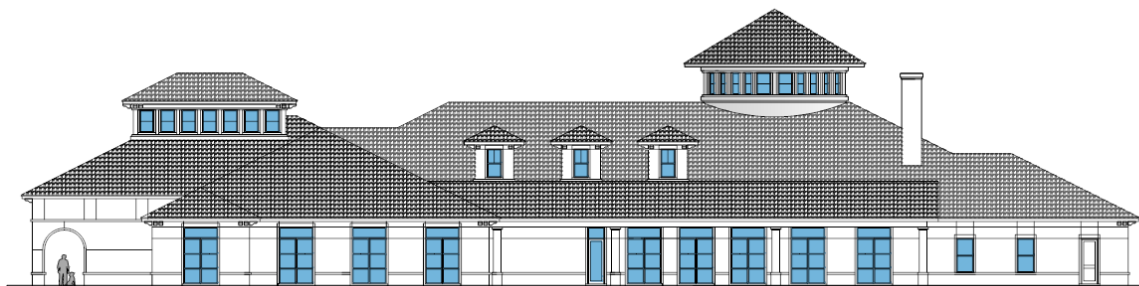
CLUBHOUSE ELEVATIONS



FRONT ELEVATION (NORTH)



WEST ELEVATION



REAR ELEVATION (SOUTH)



EAST ELEVATION

FINDINGS

Subject to the conditions contained herein, the proposal is consistent with the requirements for approval of Master Plan applications contained in Section 65.000 of the Land Development Code (LDC):

1. The proposed use is consistent with the City's Growth Management Plan.
2. The proposed use is consistent with the purpose and intent of the PD/AN zoning district and all other requirements of the LDC.
3. The proposed use will be compatible with surrounding land uses and the general character of the area.
4. The necessary public facilities will be adequate to serve the proposed use, or will be provided by the applicant as a condition of this approval.

Staff recommends approval of the MPL2016-00034 subject to the conditions below:

CONDITIONS OF APPROVAL

Growth Management

1. The Comprehensive Planning Studio has no objection to the proposed master plan application.

Land Development

1. Land Use and Zoning. Except as provided herein, development of the property shall be consistent with the development standards of the Jubilee Park Planned Development.
2. General Code Compliance. Development of the proposed project should be consistent with the conditions in this report and all codes and ordinances of the City of Orlando, the State of Florida, and all other applicable regulatory agencies. All other applicable state or federal permits must be obtained before commencing development.
3. Minor modifications. Zoning variances and modification of standards may be approved pursuant to the procedures set forth in Part 2J and Part 2F, Chapter 65, Orlando City Code, respectively. The planning official may also approve minor modifications and design modifications to fences, walls, landscaping, accessory structures, signs, and bufferyard requirements. Additionally, recognizing that development plans can change in small ways between the planning and permitting stages of development, the planning official may approve up to a 10% modification of any applicable numerical development standard if the planning official finds that the proposed modification is consistent with the applicable goals, objectives, and policies of the GMP, is compatible with nearby existing land uses, would not result in inadequate public facilities, and is otherwise consistent with the public health, safety, and welfare. When approving such a modification of a development standard, the planning official may impose one or more of the conditions of development provided at section 65.334, Orlando City Code, but such condition or conditions must be reasonably calculated to mitigate the identifiable land use impacts of the modified standard.
5. Master Plan Approval. Approval of the Master Plan by City Council shall grant the applicant authority to submit an application for preliminary plat and/or Specific Parcel Master Plan. Such application must be submitted within 24 months of approval or the Master Plan shall expire. However, the Planning Official may extend this time limit for one period of up to twelve months for good cause shown upon written application filed 30 days prior to the expiration date.
6. Permit Compliance. All plans submitted with the applicant's building permit application(s) must comply with the conditions of approval provided in the Municipal Planning Board staff report and any amendments to those conditions approved by the Municipal Planning Board or City Council. No building permit will be issued for this project until all conditions of approval are complied with and reflected in the plans submitted with the building permit application.
7. Regulations Subject to Code. Except as provided herein, the proposed project is subject to the conditions of this report and all codes and ordinances of the State of Florida, City of Orlando and all other applicable regulatory agencies. All other applicable state or federal permits must also be obtained before commencing development.
8. As provided by subsection 166.033(5), Florida Statutes, issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. In accordance with subsection 166.033(5), Florida Statutes, it is hereby made a condition of this permit that all other applicable state or federal permits be obtained before commencement of the development.
9. This property is required to plat in accordance with Section 65.401 of the City's Land Development Code prior to the issuance of building permits.

CONDITIONS OF APPROVAL

Urban Design

Appearance Review

1. Appearance review shall be required at time of permitting.

Architecture

2. Provide noise attenuation for Zone “D”. Provide construction techniques and technical sound study reports to the Zoning Official prior to permitting.
3. A maximum of 4 colors per building, the 4 colors apply to the body of the building and does not include trim and other architectural elements.
4. Building elevations are needed for accessory garage buildings located to the eastern portion of the site. All architectural details of accessory structures shall match the respective principal structure. Side elevations shall incorporate windows with shutters or other architectural elements. Blank walls are prohibited.
5. The garage parking provided cannot be utilized as storage. To allow this parking scheme to function properly; no garage shall be allowed to be utilized as storage, preventing the use of the garage as the parking needed. Add glazing to the garage vehicle doors so that this provision may be enforced by management.
6. Provide colored elevations and architectural drawings for Appearance Review at time of permitting.

Sidewalks/Parking

7. Continue the sidewalk from the south of the trash enclosure to the northwest, to the rear of the two parking spaces to connect to the sidewalk of Building 11, the sidewalk shall have pedestrian crossings where it goes through drive aisles. A tree shall be required at this island as well.
8. The walkway adjacent to the garages must have a change in material and color to indicate a pedestrian zone.
9. Add a crosswalk connection across the eastern side of Jubilee Park Blvd. from the northern end of the park to the sidewalk along the eastern side of Jubilee Park Blvd..
10. Tandem parking spaces shall not encroach in to the pedestrian sidewalks. Parking stalls in front of garages shall have a minimum parking length of 20ft..
11. Crosswalks shall be constructed with contrasting material such as pavers, textured colored or stamped concrete or similar at all internal drives and intersections where a pedestrian connection occurs.
12. Additional sidewalks maybe required at time of permitting review to complete the pedestrian circulation.
13. Tandem parking between building 11 and 10, eliminate one parking space to enhance landscape island. Landscape island are required to have at least 1 tree.

Landscaping

14. Irrigation systems must be designed and maintained with industry standard water efficiency measures or equipment, such as:
 - a. A weather-based evapotranspiration controller,
 - b. Zoned soil-moisture sensors, or
 - c. A low volume system using drip emitters for shrubs and groundcover and flood bubblers for trees. Impact sprinklers are prohibited.
15. Palm Trees along the main entrance are to be staggered across the sidewalk to create more variety and shade throughout the main entrance.
16. Landscape Plan Review. All landscape plans must achieve the Minimum Required Landscape Score (MRLS) required for the proposed type and intensity of development. Meet City Code Chapters 60 and 61. A spreadsheet showing compliance with the Minimum Required Landscape Score must be included with the plans. A digital spreadsheet form is available at <http://www.cityoforlando.net/city-planning/landscape-code/>
17. Eliminate parking near dumpster area and continue sidewalk with pedestrian crossing.
18. Additional landscaping shall be required south on the clubhouse pool.
19. Install street trees or palms on both sides along Jubilee Park Blvd.
20. Flowering plants shall be incorporated into the design.
21. Tree Protection. Existing trees (not including those classified as invasive, exotic species) shall be preserved to the extent practical. The placement of underground utilities, including irrigation, within the drip lines of existing trees to be preserved shall be done by means of tunneling rather than trenching. Any melaleuca, chinaberry, Chinese tallow, Brazilian pepper, camphor, or Australian pines existing on the site shall be removed.
22. Additional landscaping shall be required south on the clubhouse pool.
23. Provide littoral zone plantings along wetlands and detention ponds (75% of the shoreline) per Code.
24. Tree Removal. Tree clearing (excluding the clearing of invasive exotic species) shall not commence until full site and building

CONDITIONS OF APPROVAL

development plans have been approved. Contact the City Parks Division for an inspection of on-site trees during the design process.

Lighting:

25. All requirements of the LDC Ch 63.100 Outdoor lighting shall be met at the time of permitting. All utilities, including street light poles, shall be kept out of the pedestrian path. Light-emitting diode (LED) lamps are encouraged.
 - a. Parking areas:
 - a. A light fixture shall be a maximum of 30' in height.
 - b. A light fixture shall not be located in the landscape island.
 - b. Security Lighting:
 - a. Security lighting shall not be substituted for parking lot or pedestrian lighting fixtures, and are restricted to lighting service, storage, loading and other similar uses.
 - b. Security lighting shall not extend beyond the fascia or roofline of any building.
 - c. Shields for security lighting shall be similar in color with the surface to which the fixture is attached.
 - c. Service areas:
 - a. Lighting under awnings, canopies, porte-cocheres, should be recessed. If not recessed, the box type or other lighting fixture shall be opaque on all sides (no light shall emanate from any side of the fixture).
 - d. Pedestrian Areas:
 - a. Lighting fixtures shall be decorative in appearance, style and finish and shall not exceed 15' in height.
26. Lighting under awnings, canopies, porte-cocheres, should be recessed. If not recessed, the box type or other lighting fixture shall be opaque on all sides (no light shall emanate from any side of the fixture).

Fences/Walls:

27. Chain link fence shall be prohibited on the site.
28. Fencing height is not to exceed 6-feet in height measured from grade, and shall be an approved CPTED fence of wrought-iron or wrought-iron type fence. Pedestrian gates may be provided at pedestrian access points.

Mechanical & Dumpster

29. Relocate a/c equipment from building 1 on the north side to the eastside
30. Relocate a/c equipment from building 22 on the north and south sides to the west side
31. Relocate a/c equipment from building 23 on the south side to the east side
32. Relocate a/c equipment from side of building 20 to rear of the building.
33. All air conditioners, compressors, electrical equipment and other equipment shall be screened from the street and public pathways by low walls, hedges, or other decorative fences and may not exceed 4-feet above grade.
34. Dumpster enclosure/gates: Service areas and dumpster enclosures shall incorporate architectural materials and design details similar to the principal buildings. Service areas shall have gates or screens that shield the areas from view when not in use. Design of gates shall be solid and have architectural interest to complement the building
35. A/C Units: All a/c units shall meet the screening requirements of the LDC.
36. Provide recycling capacity for all trash locations, contact Ian Jurgensen ian.jurgensen@cityoforlando.net or 407.246.2781

Signage

37. Master Sign Plan shall be submitted and reviewed through the Appearance Review determination process.

Transportation Impact Fees

1. Any new construction, change in use, addition, or redevelopment of a site or structure shall be subject to a review for Transportation Impact Fees. An estimated Transportation Impact Fee in the amount of \$788,424.00, based on the construction of 312 unit multi-family residential units, will be due at the time of building permit issuance, subject to change upon final permit plan review.

For a copy of the complete ordinance or impact fee rate chart, you may reference our website at: <http://www.cityoforlando.net/planning/Transportation/ifees.htm>

Transportation Engineering

1. Tandem parking spaces may not overlap the pedestrian path.
2. The proposed connection to Jubilee Park Blvd, at the northern extent, will have an ADA accessible pedestrian connection across

CONDITIONS OF APPROVAL

Jubilee Park Blvd.

3. The final site plan shall show the location and size of the on-site solid waste compactor(s) / dumpster(s) with concrete pads, and enclosures with doors. The solid waste container(s) shall not be located adjacent to any single family houses or directly adjacent to the public street. Dumpsters shall be located to provide a minimum 50 feet of clear backup space and constructed per Orlando Engineering Standards Manual (ESM) requirements, OR documentation shall be provided from the City's Solid Waste Division indicating curb pick-up or other approved arrangement.

Schools

1. Unvested units will require review by the Orange County School Board for capacity and concurrency. The applicant is proposing 312 dwelling units, 114 of which are unvested. The master plan request is subject to an approved Orange County Public Schools capacity enhancement agreement (CEA) for 144 unvested dwelling units between the developer and OCPS, prior to the approval of the master plan by City Council.

INFORMATIONAL COMMENTS

OUC – Water

1. Submit detailed water utility plans to Orlando Utilities Commission Development Services when they have been developed. See our Website for submittal information <http://www.ouc.com/business/water-services>.

Wastewater

1. New sewer infrastructure to serve this project was installed as part of Phase 1. The Wastewater Division shall review construction plans for permitting.
2. The owner/developer is required to pay the Sewer Benefit Fee in accordance with the Sewer Service Policy and Chapter 30 of the Land Development Code.

Trees-Removal

1. Contact Justin Garber, Parks Department at (407) 246-4047 or justin.garber@cityoforlando.net for a tree removal permit before removing any 4" caliper or larger trees.

Trees-Encroachment

1. Contact Justin Garber, Parks Department at (407) 246-4047 or justin.garber@cityoforlando.net for a Tree Encroachment permit prior to encroaching within 6' of any existing 4" caliper or larger tree as part of Orlando Land Development Code, Section 60.211.

Police

1. The Orlando Police Department has reviewed the plans for Jubilee Park Phase 2 multi-family development located at 6708 Hazeltine national Dr., utilizing CPTED (Crime Prevention Through Environmental Design) principles. CPTED emphasizes the proper design and effective use of a created environment to reduce crime and enhance the quality of life. There are four overlapping strategies in CPTED that apply to any development: Natural Surveillance, Natural Access Control, Territorial Reinforcement and Target Hardening.
2. CPTED conditions will be emailed to the client by the Project Manager with the City. For questions regarding the Orlando Police Department plan review, please contact Audra Nordaby at 407.246.2454 or Audra.Nordaby@cityoforlando.net.

Parks

1. For informational purposes: The City is in the process of implementing a Parks Impact Fee on all residential housing units to help meet the recreation needs of Orlando's residents. Any new housing units will be subject to the fee once it is approved.
2. Contact the Bureau of Parks (407) 246-2283 for a tree removal permit before removing any 4" caliper or larger trees.
3. Contact the Bureau of Parks (407) 246-2283 for a tree encroachment permit prior to encroaching within the canopy of any 4" caliper or larger trees.

Development Review

1. The Office of Permitting Services recommends approval of the proposed Master Plan, subject to the above listed conditions and requirements.
2. At the time of development, the owner/developer is required to pay an on-site inspection fee that is a percentage of the cost of the on-site improvements, excluding the building, in accordance with City Land Development Code, Section 65.604. The owner/developer is required to design and construct an on-site storm water system in accordance with the approved Master Drainage Plan. Approval from South Florida Water Management District is required. The system is to be privately owned and maintained.
3. Construction activities including clearing, grading and excavating activities shall obtain an Environmental Protection Agency (EPA) National Pollution Discharge Elimination System (NPDES) permit, except: Operations that result in the disturbance of one acre total land area which are not part of a larger common plan of development or sale.
This project requires a Florida Department of Environmental Protection (FDEP) permit for the sanitary sewer system. The Office of Permitting Services processes the permit for projects with reserved sewer capacity. At the time of FDEP permit submittal to the Office of Permitting Services, the following is required:
 1. Permit Application - signed/sealed by the owner. This Bureau will complete page 10 of 11 when the construction plans are approved.
 2. Construction Plans - six sets, signed/sealed by the engineer. The plans are to include the on-site and off-site sewer design together with the City's details. If a lift station is part of the sewer design, the engineer is to submit the shop drawings for the lift station (private or public).
4. The construction plans are reviewed by the City of Orlando's Waste Water Bureau and returned to the Office of Permitting Ser-

INFORMATIONAL COMMENTS

vices when approved. This Office will contact the engineer to pick up the application and two sets of the approved plans or the transport to FDEP. The remaining sets will be retained by the Office for distribution.

Reminder: PLEASE ALLOW 3-4 WEEKS FOR THIS PROCESS

5. Need to provide drainage calculation and Geotechnical report for this development. A Stormwater Pollution Prevention Plan need to be submitted in accordance with the Florida Department of Environmental Protection (FDEP) requirement.
6. The City Council Adopted the Engineering Standards Manual (ESM), Fifth Edition on April 18, 2016. All plans must conform to the ESM and all construction must be accomplished in accordance to the ESM.
7. At the time of development, the owner/developer is required to apply an on-site inspection fee that is a percentage of the cost of the on-site improvements, excluding the building, in accordance with City Land Development Code, Section 65.604.
8. If this site is located within a floodplain, the finished floor elevation must be one (1) foot above the 100' flood elevation.
9. In accordance with Federal Emergency Management Act (FEMA) requirements; a letter of map revision maybe required by the owner or engineer as part of this application review.
10. All future elevation shown on a boundary/topographic survey shall use the North American Vertical Datum of 1988 (NAVD 88).
11. All propose mechanical equipment must be properly screened from view in accordance with Chapter 58, PART 5B (18). Mechanical Equipment, Section 58.982 of the Land Development Code.
12. A valid survey is required to be submitted with the Final Plat and Engineering Plans that is signed and sealed by a license PSM. The copies provided with this application are not signed and sealed.
13. In accordance with City Code Section 28.6 (f) 1-3, the Office of Permitting Services is authorized to make a determination of approval/disapproval of refuse container sites.
14. The dumpster must have a minimum opening of 12' wide and a clear depth of 10' forward of any bollards within the enclosure. Approval/disapproval of the use of commercial hand pick-up of refuse from any non-residential entity shall be determined solely by the Refuse Collection Bureau Staff.
15. The proposed dumpster associated with building F (parcel 10) is not accessible for the truck, any pull out dumpster needs to be approved by Solid Waste prior to development.

Transportation Impact Fee

1. The applicant shall comply with all applicable requirements of Chapter 59, the Concurrency Management Ordinance, to ensure that all public facilities and services are available concurrent with the proposed development, and that the potential impacts on public facilities and services are mitigated.
2. All new construction, changes in use, additions or redevelopment are required to submit a Concurrency Management application as a part of the building plan review process. A Concurrency Management application is available on the City's website: <http://www.cityoforlando.net/permits/forms/concurrency.htm>

Fire

1. TRC fire code review is preliminary in nature, and is intended to expose or prevent evident design deficiencies with State and City Fire Codes. The design will be reviewed in detail for State and City Fire Code compliance at the time of permit application. Be advised that any new construction must adhere to the requirements of the Florida Fire Prevention Code, 2012 Edition, and The City of Orlando Fire Prevention Code.
2. FIRE DEPARTMENT ACCESS ROADS The radius for fire department vehicles shall be 30 ft inside and 50 ft outside with a 20 clear unobstructed width. NFPA 1 18.2.3.4.1.1 & 18.2.3.4.3.1
3. Under Ground Combination mains require permitted approval and inspection by a fire safety inspector. Combination UG mains shall meet the installation requirements NFPA 24. Installation of fire hydrants shall be installed by a class V contractor.

CONTACT INFORMATION

Growth Management

For questions regarding Growth Management plan review, please contact Mary-Stewart Droege at (407) 246-3276 or mary-stewart.droege@cityoforlando.net.

Land Development

For questions regarding Land Development review, please contact Jacques Coulon at (407) 246-3427 or jacques.coulon@cityoforlando.net.

Urban Design

For questions regarding Urban Design plan review, please contact Terrence Miller, at (407) 246-3292 or terrence.miller@cityoforlando.net.

Transportation

For questions regarding Transportation Engineering plan review, please contact Lauren Torres at 407-246-3262 or lauren.torres@cityoforlando.net

Transportation Impact Fees

For questions and information regarding Transportation Impact Fee rates you may contact Nancy Ottini at (407) 246-3529 or nancy.jurus-ottini@cityoforlando.net

Development Review

For questions regarding Development Review contact Keith Grayson at 407.246.3234 or keith.grayson@cityoforlando.net. To obtain plan review status, schedule/cancel an inspection and obtain inspection results, please call PROMPT, our Interactive Response System at 407.246.4444.

Police

For questions regarding the Orlando Police Department plan review, please contact Audra Nordaby at 407.246.2454 or Audra.Nordaby@cityoforlando.net.

Fire

For any questions regarding fire issues, please contact Charles Howard at 407.246.2143 or at charles.howard@cityoforlando.net. To obtain plan review status, schedule/cancel an inspection and obtain inspection results, please call PROMPT, our Interactive Voice Response System at 407.246.4444.

Building

For questions regarding Building Plan Review issues contact Don Fields at (407) 246-2654 or don.fields@cityoforlando.net.

Tree Removal

For questions regarding tree removal or encroachment contact Justin Garber at justin.garber@cityoforlando.net.

Waste Water

For questions regarding Waste Water plan review, please contact Vince Genco at vince.genco@cityoforlando.net.

REVIEW/APPROVAL PROCESS—NEXT STEPS

1. MPB minutes scheduled for review and approval by City Council.
2. Apply for building permits.