

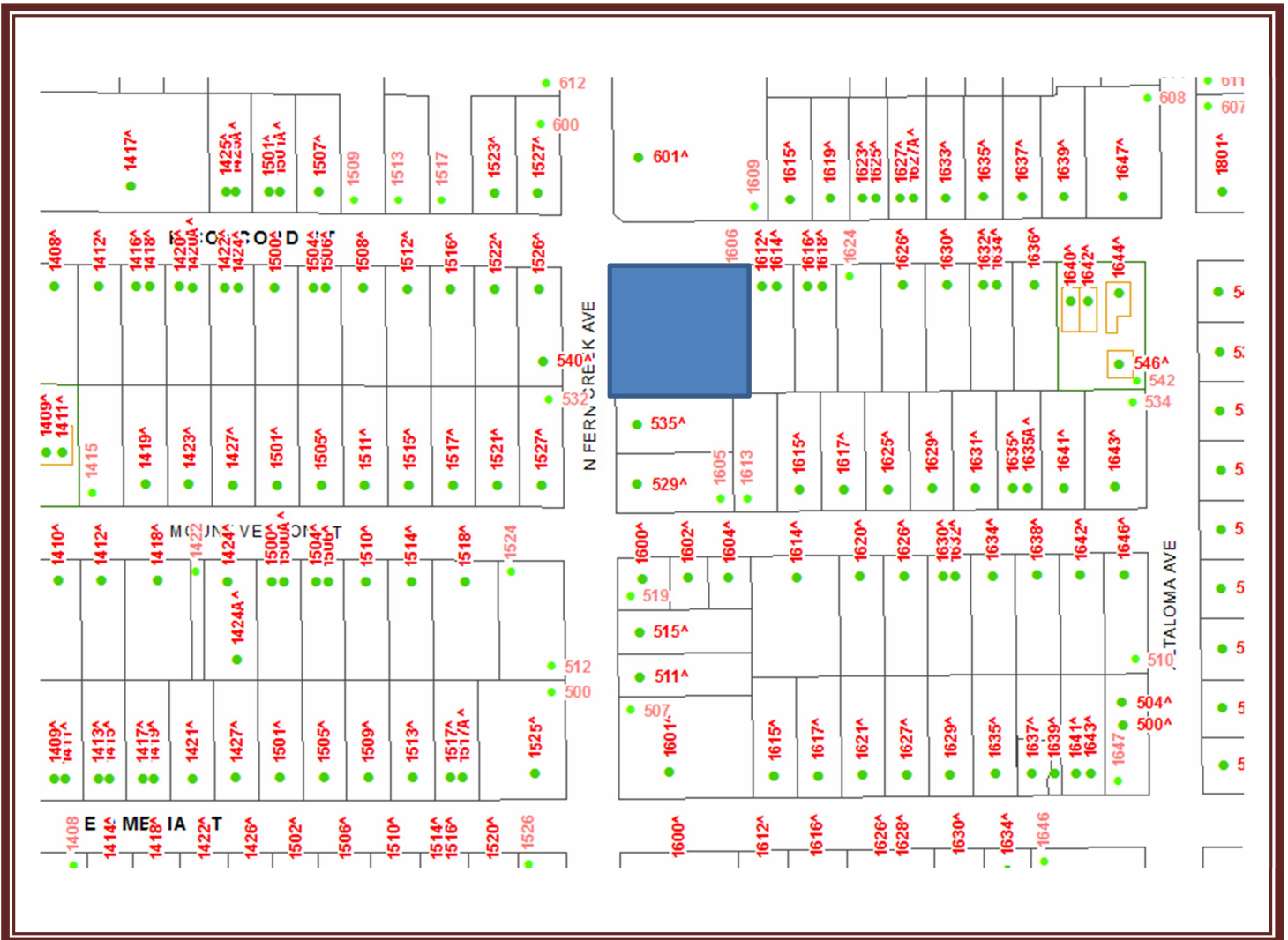
Fern Creek Towns Plat

Project Overview (updated 5/22/2017)

NOTE: The information presented in this project overview is based on staff's preliminary review of the submitted application and is subject to change. Contact the Project Planner for the latest project information.

Case Number(s): SUB2016-00051

Project Location & Property Size: 547 N. Fern Creek Ave. (South of Concord St., East of N Fern Creek Ave., North of Mount Vernon St. and West of Altaloma Ave.) District 4, ±0.50 acres



Project Description: Request for Minor Subdivision approval for a one (1) lot plat for a 10-unit rear load townhome development.

Existing Zoning District and Future Land Use Classifications

Future Land Use Classification – OFFICE-LOW (Office Low Intensity)

Zoning District – O-1/T (Office Low Intensity-Residential in the Traditional City Overlay District)

Application Documents

Scroll Down for plans submitted by the applicant for this project.

If you wish to review the file, please submit a Public Records Request at:

<http://www.cityoforlando.net/cityclerk/city-records-and-archive-management-services/>

Additional or revised documents may be included in the Staff Report, to be posted on the City's website a week before the tentative public hearing date below, at: cityoforlando.net/mpb - then click on "Current Agenda."

Public Hearing

This project is tentatively scheduled for a public hearing at the Municipal Planning Board on September 20, 2016.

(City Hall 2nd floor, City Council Chambers, 8:30AM)

Parking Availability

At the City Commons Parking Garage located on Boone Ave., between South St. and Anderson St. (on the west side of City Hall). This garage charges a fee. For more information, go to:

<http://www.cityoforlando.net/parking/downtown-parking-locations/>

Contact Information:

Applicant	Staff - Project Planner
Name: Kevin Kramer, Land Manager Weekley Homes, LLC Address: 225 S. Westmonte Dr., Ste. 3300, Altamonte Springs, FL 32714 Phone: 407-865-8226 Email: KKramer@dwhomes.com	Name: TeNeika Neasman Email: teneika.neasman@cityoforlando.net Phone: 407-246-4257

Project Status and Next Steps

July 26, 2016	Application received by City Planning Division
September 13, 2016	Staff Report available at cityoforlando.net/mpb
September 20, 2016	Municipal Planning Board

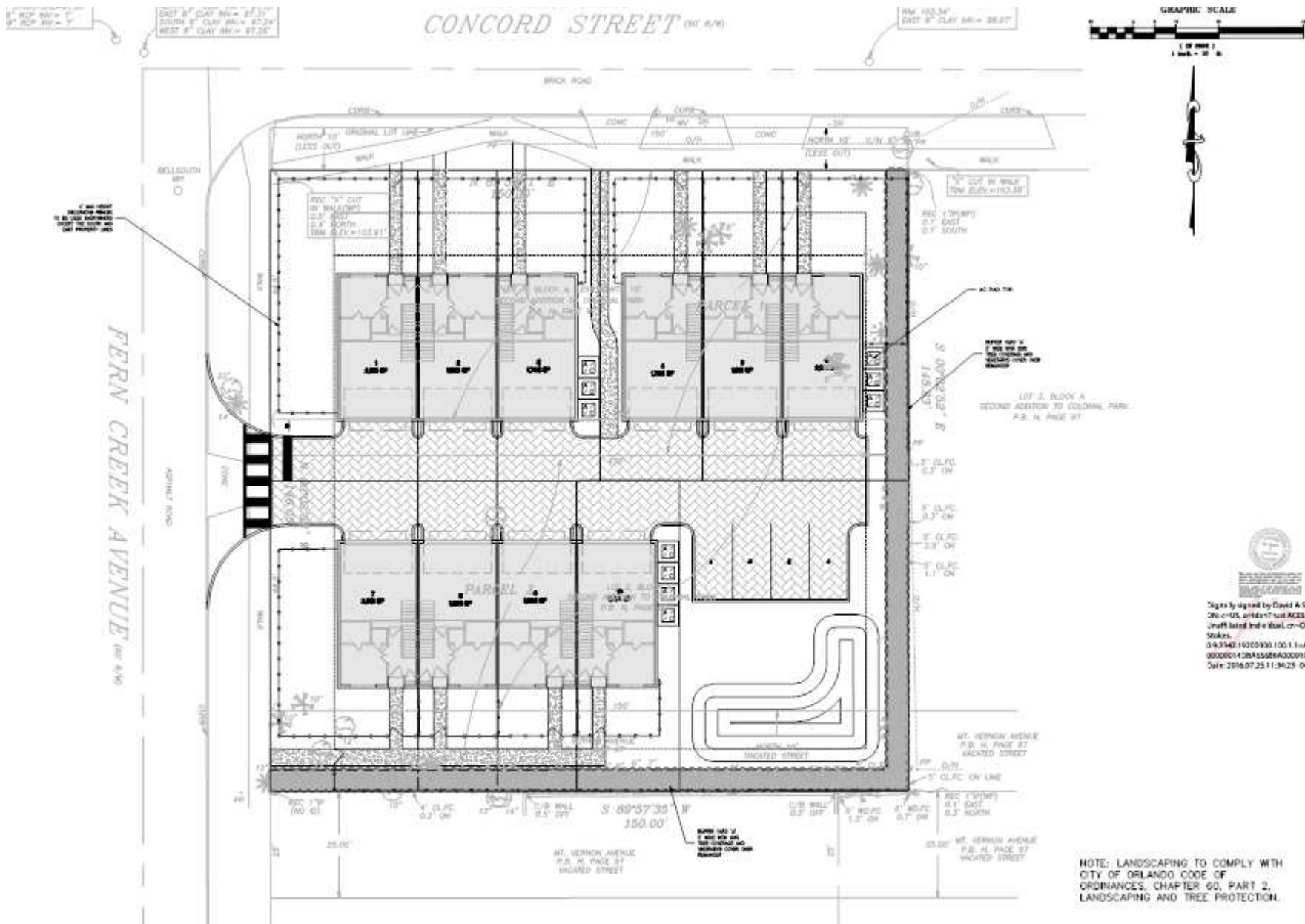
PROJECT DATA:

1. TOTAL PROJECT ACREAGE: ± 0.50 ACRES
2. EXISTING ZONING: O-I/T
3. FUTURE LAND USE: OFFICE LOW INTENSITY
4. TOTAL NUMBER OF UNITS: 10 UNITS
5. GROSS DENSITY: $10 \text{ DU}/0.50 \text{ ACRE} = 20 \text{ DU}/\text{AC}$.
6. PROJECTED AVERAGE DAILY TRAFFIC:
 $5.81 \text{ ADT}/\text{UNIT} \times 10 \text{ UNITS} = 58.10 \text{ ADT}$.
7. TOTAL WETLAND ACREAGE: NO WETLANDS ON SITE
8. MINIMUM LIVING AREA: 2,000 SF
9. MAX. ALLOWED BUILDING HEIGHT = 55'
10. MAXIMUM ALLOWED IMPERVIOUS AREA = 85%
11. WATER AND SEWER SERVICE: CITY OF ORLANDO
12. FIRE PROTECTION TO BE PROVIDED BY CITY OF ORLANDO
13. PHASING: PROJECT TO BE DEVELOPED IN 1 PHASE
14. LANDSCAPING SHALL BE DESIGNED TO MEET THE CITY OF ORLANDO LDC REQUIREMENTS
15. A LIGHTING PHOTOMETRIC PLAN SHALL BE PROVIDED WITH THE SUBDIVISION PLAN TO MEET THE CITY OF ORLANDO LDC
16. THE PROJECT IS NOT PROPOSED TO BE GATED AT THIS TIME, GATES IF ADDED SHALL MEET THE CITY OF ORLANDO LDC REQUIREMENTS AND EMERGENCY VEHICLE STANDARDS
17. THE STORMWATER MANAGEMENT SYSTEM FOR THIS PROJECT WILL BE AN UNDERGROUND EXFILTRATION SYSTEM. DETAILS WILL BE PROVIDED WITH THE CONSTRUCTION PLAN.
18. THE PROPOSED PROJECT IS NOT LOCATED IN A 100-YEAR FLOOD ZONE PER FEMA FIRM PANEL #12095C0265F DATED 9/25/09. THE PROPOSED PROJECT IS LOCATED IN ZONE X, AREAS DESIGNATED TO BE OUTSIDE THE 100-YEAR FLOOD ZONE.
19. THE PROPOSED PROJECT WILL REQUIRE A PLAT AND SUBDIVISION PLAN TO BE APPROVED BY THE CITY OF ORLANDO SEPARATELY FROM THIS PD APPROVAL.
20. MIN LOT WIDTH = 18.67'
21. MINIMUM LOT AREA = 1,361 SF
22. AVERAGE LOT AREA = 1,660 SF
23. BUILDINGS WILL BE EQUIPPED WITH A FIRE SUPPRESSION SYSTEM TO MEET THE CITY OF ORLANDO AND APPLICABLE REQUIREMENTS.

Project Description



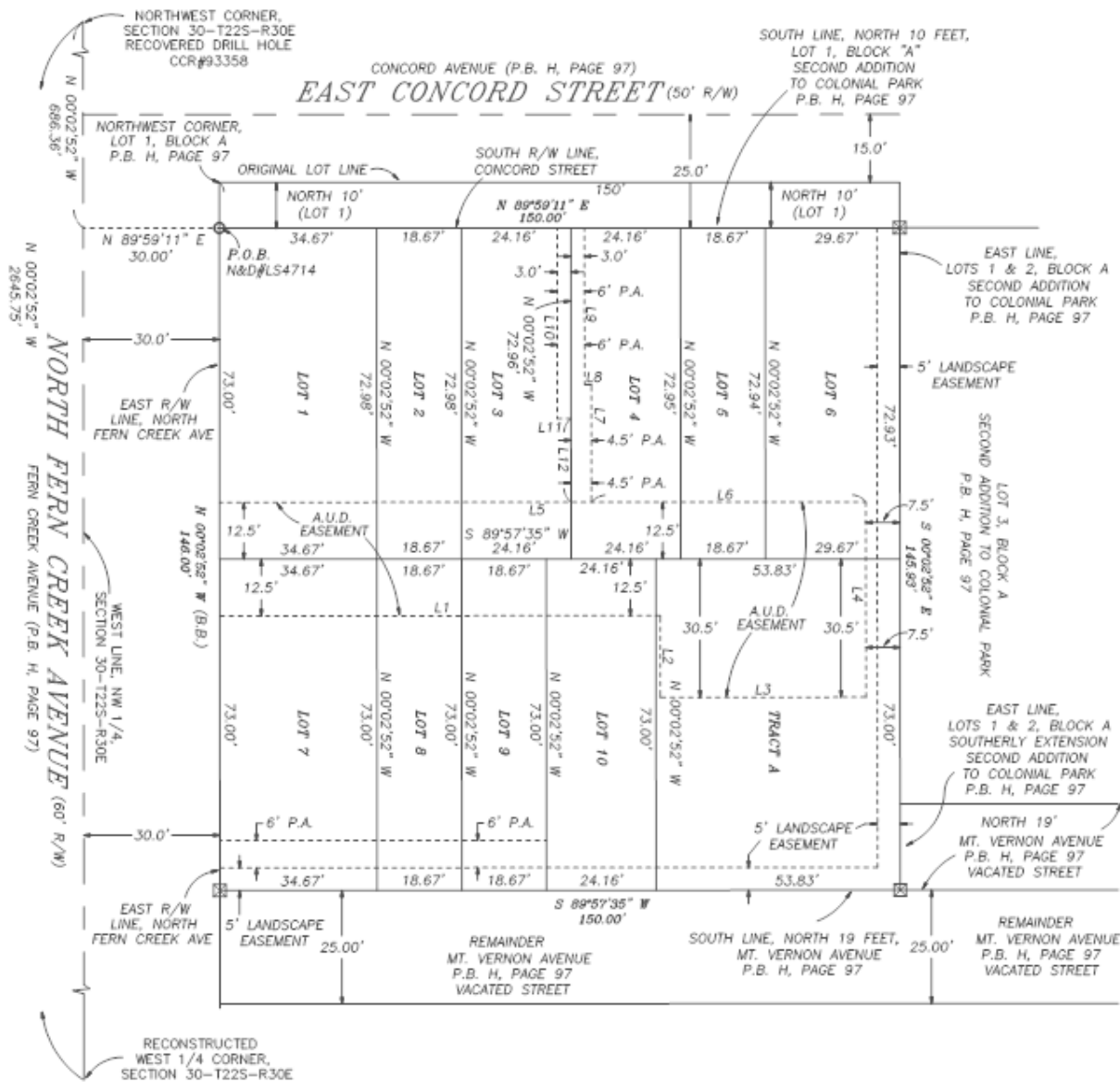
Site Plan



Landscape Plan



Elevation - Front



LINE	BEARING	DISTANCE
L1	N 89°57'35" E	97.17'
L2	S 00°02'25" E	17.99'
L3	N 89°57'35" E	45.33'
L4	N 00°02'25" W	43.01'
L5	S 89°57'35" W	142.50'
L6	S 89°57'35" W	60.50'
L7	N 00°02'52" W	25.91'
L8	N 90°00'00" W	1.50'
L9	N 00°02'52" W	34.53'
L10	S 00°02'52" E	42.01'
L11	N 90°00'00" E	3.00'
L12	S 00°02'52" E	18.43'

GRAPHIC SCALE



NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

CONCURRENCY MANAGEMENT: DEVELOPMENT OF THIS PROPERTY DEPICTED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS OF CHAPTER 59, THE CONCURRENCY MANAGEMENT ORDINANCE OF THE CITY OF ORLANDO, WHICH GOVERNS THE CITY'S ABILITY TO ISSUE BUILDING PERMITS ON THIS PROPERTY. APPROVAL OF THIS PLAT SHALL NOT BE DEEMED TO PROVIDE ANY VESTED RIGHTS, EXCEPT AS TO THOSE MATTERS DEPICTED HEREON, THAT ARE CONSISTENT WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, OR WERE REQUIRED BY THE CITY OF ORLANDO AS A CONDITION OF PLATTING.



Prepared by:
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Proposed Plat