



# DUPLEXES AND TANDEM

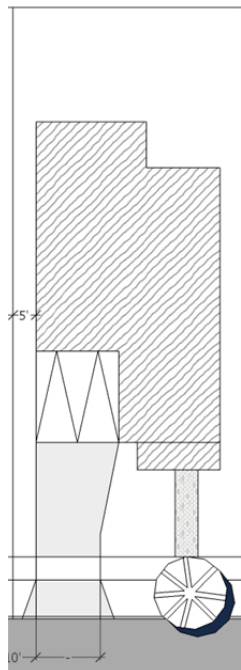
## SUMMARY

<p><b>Owner</b> N/A</p> <p><b>Applicant</b> City of Orlando</p> <p><b>Project Planners</b> Elisabeth Dang, AICP Terrence Miller</p> <p><b>Updated:</b> December 8, 2016</p>	<p><b>Description of the Request:</b> Amend the Land Development Code to revise development standards and design standards for duplex and tandem development.</p> <p><b>Staff's Recommendation:</b> Approval of the request.</p> <p><b>Public Comment</b> Staff has engaged the public in numerous ways, including:</p> <ul style="list-style-type: none"> <li>◆ City website: <a href="http://cityoforlando.net/duplexes">cityoforlando.net/duplexes</a></li> <li>◆ Advertisement in the Orlando Sentinel.</li> <li>◆ Meetings with developers and residents.</li> <li>◆ Online survey, February 2016</li> <li>◆ Notifications on <a href="http://nextdoor.com">nextdoor.com</a></li> </ul>	<ul style="list-style-type: none"> <li>◆ Evening workshop on September 21, 2016.</li> <li>◆ Previous MPB presentations on March 17, 2015 and April 21, 2015.</li> </ul> <p>Comments received from January 20, 2016 to December 12, 2016 will be provided to the MPB as part of their review packages. Comments received from December 13 to December 19 will be provided to the board members during the meeting.</p>
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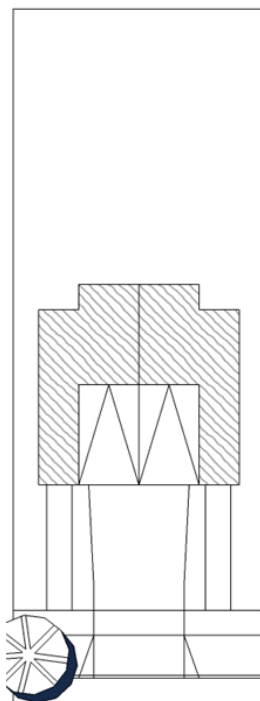
## DEVELOPMENT TYPES

Conventional single family, tandem single family, and duplex development are all permitted in the R-2A, R-2B, R-3A and R-3B zoning districts. On a typical 50' by 110' lot, this yields the following typical development types.

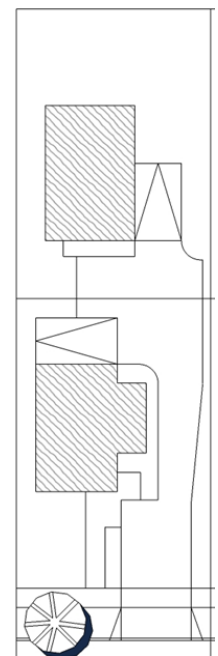
A note to residents: Many new homes are marketed as townhomes or condos. Regardless of the name used for the home, they are regulated in the zoning code according to the three housing types shown on the right. If three or more units are connected, they are regulated in the zoning code as attached development (townhome). Attached development is not allowed in R-2A, but is allowed in R-2B, R-3A and R-3B.



Single family—one unit on one lot



Duplex—two connected units on one lot



Tandem—two separate units with reduced setbacks on one lot (lot may be split)

## BACKGROUND

Residents living in neighborhoods where duplexes are allowed have expressed concerns about how the duplexes do not match the character of the neighborhood. Well-designed duplexes and tandems provide advantages for our downtown neighborhoods by giving more affordable options for young families looking to purchase or rent homes.

Duplexes and tandems are only allowed in certain areas of our downtown neighborhoods that are designated as allowing multiple families to live on one lot within in that district. These are either One to Two Family Districts (R-2A) or One to Five Family Districts (R-2B). Mixed use districts also allow duplexes, but in those locations most nearby development is non-residential.

The description and purpose for the R-2 areas in our Zoning Code is clear. These districts are intended to:

“Conserve the general character of established neighborhoods which have developed over time [...] New development in this district is encouraged to maintain the prevailing bulk, height, setbacks and general design of the surrounding neighborhood.”

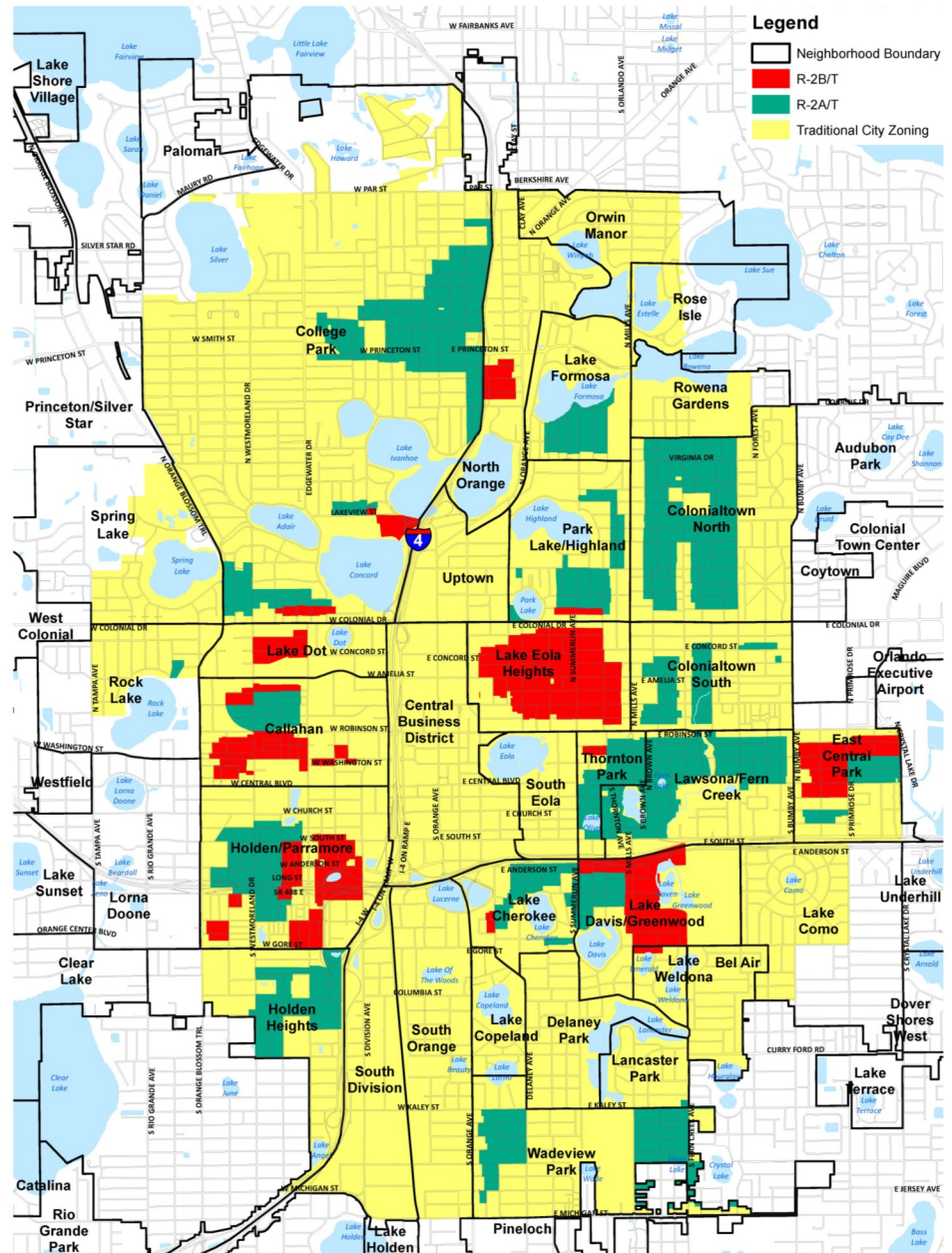
Over the last 20 years, infill residential development has become more common in Orlando's downtown neighborhoods (also called the Traditional City). While much of this development shows positive improvement as people upgrade or enlarge their homes, some development has become out of character with the pre-existing development pattern. In particular, duplexes (2 attached units on one lot) have increased dramatically in size and are often located on lots previously occupied by a smaller single family home.

Historically, the prevailing setbacks of homes were often considerably more than the minimum required. This often left ample room for yards, landscaping, and mature trees. Over the last 20 years, new development has typically been constructed at the maximum height and bulk while meeting the minimum setback requirements. One or two lots on a block that are developed this way may be acceptable, but over time, as more and more lots are being redeveloped, the fundamental character and rhythm of the respective neighborhood development patterns has changed.

City planning staff has analyzed existing development patterns and worked with neighborhood residents and developers to suggest the best way to balance homeowner affordability and market feasibility with maintaining the neighborhood character that exist in these areas.

# Traditional City

## R-2A/T & R-2B/T Zoning Districts



## GOALS

The purpose of the proposed code amendments is to support redevelopment that is in character with the existing neighborhood. The goals of these new regulations are to:

- ◆ Maintain on-street parking, allow adequate locations for street trees, and minimize sidewalk conflicts by minimizing curb cuts.
- ◆ Maintain the generous tree canopy that's part of the character of these neighborhoods by requiring additional shade trees in the front yard.
- ◆ Reduce the boxy featureless shape of some duplexes through design criteria that encourage columns, bay windows, varied roof-lines and other features.
- ◆ Discourage duplexes with dominant front-facing garages by increasing garage setbacks, and providing reduced setbacks for certain other types of units.
- ◆ Encourage tandem development (and require it on corner lots) to break up building mass and promote single family character.
- ◆ Acknowledge that larger units being built today have a higher parking demand than the smaller units of the past, and require additional parking for large units.
- ◆ Encourage new buildings to be developed in a style that is compatible with the character of single family homes and the traditional styles commonly found in our downtown neighborhoods.
- ◆ Encourage diversity in housing stock, rather than cookie-cutter development patterns, by requiring variety between adjacent lots, and not allowing "mirror image" front loaded duplexes.
- ◆ Promote home ownership opportunities by allowing tandems in more locations, and allowing existing and new duplexes to be split into fee simple lots.
- ◆ In the Colonialtown North Special Plan Overlay, recognizing that the dominant character is small single family homes, change the overlay to allow tandems, but reduce the maximum floor area ratio for all new development (single family, duplex and tandem in the R-2 districts).

The following proposals are *not* recommended by staff, but have been requested during the outreach process.

- ◆ Reduce the number of lots where duplexes and tandems are allowed. The alternative would be a citizen-led effort to rezone property to R-1, with a notarized signature from each property owner.
- ◆ Require a public hearing for each duplex. The alternative would be a citizen-led effort to create a historic district or a zoning overlay with a review board.
- ◆ Require maximum setbacks, meaning that buildings must not be pushed to toward the rear of the lot. Existing homes already have a variety of setbacks, and this is based on context. Comments regarding setbacks will be provided by staff as part of the appearance review process for each new duplex.

## ATTACHMENTS

This staff report includes the following attachments:

- ◆ **Summary of proposed code amendments.** This matches the handout provided at the September 21 workshop, plus some additions which have been underlined. A reference to the relevant section of code being amended is provided for each proposal.
- ◆ **Draft ordinance.** This is a strikethrough/underline document identifying the proposed code text. The final text is subject to review and approval by the City Attorney's Office.
- ◆ **Design guidelines.** This document provides guidance for how to meet the design criteria identified in the proposed code amendments. It includes graphics identifying best practices, common architectural features, and defines terms. If the code amendments are adopted, this information will help duplex and tandem developers prepare architectural elevations for review.
- ◆ **Development standards.** This is a "cheat sheet" that includes a summary of all relevant City code related to duplex and tandem development, not just the portions that may be revised. Example site plans are also included. If the code amendments are adopted, this information will help duplex and tandem developers prepare site plans for review.

## FINDINGS

In review of the proposed LDC amendment it is found that:

1. The proposed Land Development Code amendment is consistent with the State Comprehensive Plan (Chapter 187, Florida Statutes).
2. The proposed Land Development Code amendment is consistent with the East Central Florida Strategic Regional Policy Plan.
3. The proposed Land Development Code amendment is consistent with the provisions of Chapter 163, Part II, Florida Statutes.
4. The proposed Land Development Code amendment is consistent with the objectives and policies of the City's adopted Growth Management Plan (GMP).

## RECOMMENDATION

Staff recommends approval of the proposed amendments to the Orlando Land Development Code.

ATTACHMENT A:

Summary of Proposed Code Amendments



**Duplex & Tandem Development**  
**Draft of Proposed Staff Recommendations**  
**November 21, 2016**

This information sheet provides a summary of opportunities regarding tandem and duplex development in R-2A & R-2B neighborhoods and proposed staff recommendations for possible amendments to the City Code. Changes since the September community workshop are underlined. Code citations are included in parentheses for each item. All recommendations are subject to change as part of the public participation process.

1. **Mass and scale:** By reducing the visual impact of larger homes, these developments will appear more compatible in scale with single family homes and the neighborhoods they're built in. Proposed staff recommendations to help achieve this are:
  - a. On corner lots in the R-2A district permit only tandems, not duplexes. **(Section 58.515(a))**
  - b. Require at least 1 canopy tree in the front yard. (Currently a minimum of 2 trees per lot, but both could be in the rear yard.) By ensuring landscaping is a part of these new developments, this can be an effective way to reduce the visual impact of a large building. **(Section 60.223(c))**
  - c. Keep maximum floor area ratio (FAR) at 0.50 for duplexes, and require maximum FAR of 0.50 for single family. The current maximum 0.50 FAR for duplexes & tandems still allows for large buildings; single family homes have no FAR limitation. New development is typically significantly larger than established homes, and typically includes multiple garages, which add to the size of the building but are not subject to FAR limits. **(Section 58.110, Figure 1, Section 58.516(d)(1))**
  - d. Permit tandem dwellings in R-2A & R-2B districts wherever duplexes are permitted, except where Historic Districts or Special Plan Overlays restrict tandems. (Currently, tandems are allowed only on corner lots.) Increase the tandem rear yard setback from 15 feet to 20 feet, to better match surrounding lots. Tandems can help reduce the appearance of mass because they are two separate buildings. **(Section 58.516(a), Section 58.516(g)C.)**
  - e. Allow court homes (four units with a shared driveway) for both tandem and duplex development. **(Section 66.200 Court Home Development)**
  - f. For duplexes on a 50 foot lot, reduce the rear yard setback by 5 feet provided that the unit is front-to-back and there are limited accessory structures in the rear yard. The purpose of this is to incentivize front-to-back units instead of side-by-side units, and provide some additional room to fit the required garage on a small lot. **(Section 58.515(f))**
  - g. The gross floor area of a rear unit tandem on an interior lot may not exceed the gross floor area of the front unit. This is to prevent larger homes from being built behind existing homes. **(Section 58.516(d)2)**
  - h. Where canopy street trees cannot be accommodated, require an equivalent amount of onsite canopy trees. **(Section 58.515(g))**
2. **Accommodating parked cars:** By utilizing different techniques, new development can accommodate the additional space needed for multiple cars, but also ensure that the character of the neighborhood is not compromised by protecting on-street parking, ensuring better access for

large vehicles like trash collection and mail delivery and ensuring that driveways and garages aren't the dominate feature of new homes.

Proposed staff recommendations to help achieve this are:

- a. Delete the exception to the Traditional City garage standards for duplexes. Currently, the City's Traditional City garage standards for duplexes allow for up to a 24' wide garage on a 40' wide duplex, resulting in a 60% maximum garage width. For all other residential uses, the maximum garage width is 50% of the front façade. **(Section 62.600 (e)(1))**
  - b. Revise the curb cut standards to match single family: For most lots, only one curb cut is allowed. A second curb cut is allowed only if there is at least 42 feet separation. Increase the maximum driveway width from 16 feet to 18 feet for duplex and single family. **(Section 61.240)**
  - c. Require a second parking space for each unit greater than 1500 sq. ft. (Currently 2000 sq. ft.) **(Section 61.240, Figure 26)**
  - d. Prohibit "tuning fork" driveways that start as a single drive at the property line and split into two separated drive lanes adjacent to the building. **(Section 61.240)**
  - e. Require garage to be set back at least 5 feet from the front of the house. **(Section 62.600 (e)(5))**
  - f. Require 2 feet of landscaping between building fronts and a driveway. The new rules may incentivize open-air parking instead of a garage. The code currently allows (and will continue to allow) a home to be set back an additional 20 feet to allow a parking space behind the front setback but in front of the house. If this option is chosen, landscaping should be required so that there's separation between the end of the driveway and the front of the house. **(Section 61.302(g))**
3. **Building Types and Appearance:** It's important that new development build on the aesthetic personality of our neighborhoods through architectural detail and variety that blends in with the existing character and single family homes.
- Proposed staff recommendations to help achieve this are:
- a. Create an "anti-monotony" standard, prohibiting the same building elevation from being constructed on two adjacent standard-sized lots. This is required for most large single family subdivisions, and should be the standard in the R-2 neighborhoods as well. **(Section 58.517(a))**
  - b. Units with a front loaded garage may not be a mirror image building elevation (symmetrical). Each unit must be differentiated from the other. **(Section 58.517(b))**
  - c. Provide for an administrative appearance review process for duplexes and tandems, with specific design guidelines. Guidelines will focus on creating a cohesive architectural style, preferably one that is commonly found within the Traditional City. Guidelines will include a menu of architectural elements, and applicants will need to demonstrate that a minimum number of elements are included (examples: porch with a railing, bay window, window banding detail, etc). **(Section 58.110, Figure 2A; Figure 1 footnote 12; Section 58.517(c), (d))**
  - d. Interior side elevations: Require appearance review for side elevations subject to the standards above. Require one of the following options for preventing blank walls on interior side elevations:
    - i. A minimum 10% transparency (windows) for side walls.

- ii. Articulation of the wall (inset or recess at least 2 feet deep, at least 6 feet wide) **(Section 58.517 (e))**
  - e. Allow variances to the duplex and tandem standards through the design variance process. This provides an opportunity to present an alternative design that meets other goals such as tree preservation, while giving staff and the public an opportunity to review the design at the Board of Zoning Adjustment. **(Section 58.517(f))**
4. **Providing Homeownership Options:** Duplexes and tandems can provide attractive, affordable homeownership opportunities in some of Orlando's most desired neighborhoods. Proposed staff recommendations to help achieve this are:
- a. Allow duplexes and tandems to be sold and owned in fee simple by platting or lot split (current code does not allow for developers to separate each unit into a fee simple lot). By allowing for this, owners would no longer need to go through a cumbersome process to set up a 2-unit condominium association. **(Section 58.518(a) – (c), (e) – (g))**
  - b. Add standards for maintenance of common improvements which would help to ensure the exteriors of these homes are maintained. **(Section 58.518(d), Section 65.411(A)(8), Section 65.581, Section 65.582(A))**
5. **Colonialtown North Special Plan District:** Over the years, this unique district, which was once largely comprised of smaller single family homes, has seen one of the largest influxes of duplexes in Orlando. It's important to continue to protect the special character of the neighborhood and while ensuring new development is compatible with single family homes. Proposed staff recommendations to help achieve this are:
- a. Reduce FAR for all uses (duplexes, tandems & single family) to 0.40 in R-2A, keep as is for R-2B district (duplexes currently have a maximum 0.5 FAR). **(Section 62.497 (c)(1))**
  - b. Permit tandem dwellings in the R-2A district wherever duplexes are permitted (tandems are currently prohibited). **(Section 62.497 (c)(1))**
  - c. Continue to allow front yard porch encroachments, but limit to 6 feet depth (currently 8 feet). Prohibit 2-story porch encroachments. **(Section 62.497 (c)(4))**
6. **Additional Changes for Continuity**
- a. Provide a cross-reference to existing Section 58.1152 related to requirements for non-conforming single family lots. (Section 58.110, Figure 2A, footnote 37)
  - b. Clarify terms related to accessory units and identify whether an accessory unit can become a tandem. (Section 58.110, Figure 2A, footnote 22; Section 62.600(f))
  - c. For duplex and tandem development, provide applicability, intent and how to address conflicts in the regulations. (Section 58.514)
  - d. Add standards to address front door orientation for duplex and tandem development (Section 58.515(b), 62.600(b)).
  - e. Clarify that an open-air parking space that has living space above is a carport (Section 62.600(e)(2)).
  - f. Add or revise the following definitions: cluster development; court home development; dwelling, front to back duplex; dwelling, one family (or single family); dwelling, side-by-side duplex; dwelling, two family (or duplex); tandem single family development. (Section 66.200)
  - g. Revise the minimum width for a ribbon driveway from 16 feet to 13 feet. (Section 61.240)

ATTACHMENT B:

Draft Ordinance

## DUPLEX DEVELOPMENT – DRAFT ORDINANCE

**WHEREAS**, duplex dwelling development has become more prevalent in Orlando's existing established R-2A and R-2B zoning districts; and

**WHEREAS**, the predominant use in the City's R-2A and R-2B zoning districts is the single-family detached residential dwelling unit; and

**WHEREAS**, unlike single-family housing, duplex dwelling units have inherent design challenges that are currently not addressed in the City of Orlando's Land Development Code; and

**WHEREAS**, urban design and appearance review standards for duplexes can help them blend with the character of existing single family homes; and

**WHEREAS** the City Council desires to adopt design criteria for new duplex dwelling development that will maintain the prevailing appearance and general character of established residential neighborhoods.

**NOW THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF ORLANDO, FLORIDA:**

**SECTION I:** Figure 1A of Section 58.110, shall be revised to insert the following row between the existing standards for Gross Res. Density and Non-residential FAR, to identify the maximum floor area ratio in the following zoning districts:

	R-2A	R-2B	R-3A	R-3B	R-3C	MXD-1	MXD-2	O-1	O-2	MU-1	AC-N	AC-1	AC-2
Max. Single Family, Tandem and Duplex FAR (37)	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50

**SECTION 2:** Figure 2A of Section 58.110, shall be revised to show duplex or tandem development as shown as "PA" (Permitted Use, Appearance Review Required) or "CA" (Conditional Use, Appearance Review Required) in the following zoning districts.

	R-2A	R-2B	R-3A	R-3B	R-3C	MXD-1	MXD-2	O-1	O-2	MU-1	AC-N	AC-1	AC-2
Duplex or Tandem (12)	PA	PA	PA	PA	PA	PA	PA	PA	PA	PA	PA	PA	CA

**SECTION 3:** Footnote 37 shall be inserted as a footnote applying to Figure 1A of Section 58.110 as follows:



36 37. Non-conforming residential lots are subject to the provisions of Section 58.1152  
37 (a)-(e) concerning FAR, height, location of required parking, appearance review  
38 and modification of standards.  
39

40 **SECTION 4:** Footnote 12 of Section 58.110, Figure 1 is hereby amended as follows:  
41

42 12. Wherever duplexes and tandems are allowed as permitted or conditional uses,  
43 they are subject to a series of requirements including design standards and  
44 appearance review. See Part 3D of this Chapter.

45 ~~— (a) Floor Area Ratio. The maximum Floor Area Ratio (FAR) for Tandem~~  
46 ~~Single Family Developments and Duplexes Shall be 0.50.~~

47 ~~— (b) Tandems Permitted on Corner and Through Lots. Tandem Single Family~~  
48 ~~Developments shall be permitted on corner and through lots that are otherwise~~  
49 ~~zoned for and meet the site standards for duplexes. See Part 3 of this Chapter for~~  
50 ~~specific design standards. Planned Development approval shall be required when~~  
51 ~~two detached principal units are proposed for interior lots.~~  
52

53 **SECTION 5:** Footnote 22 of Section 58.110, Figure 1 is hereby amended as follows:  
54

55 22. (a) ~~Where Permitted. In R-1AA, R-1A, R-1, and R-1N and R-2A zoning districts an~~  
56 ~~Accessory Apartment, or Accessory Cottage, or Garage Apartment may be~~  
57 ~~allowed as a second dwelling unit on a single-family building site under the~~  
58 ~~following conditions:~~

59 i) *Accessory Apartment.*

60 (1) Inside the Traditional City, one Accessory Apartment shall be  
61 allowed as a Permitted Use when the building site is at least 1.5  
62 times the minimum lot size for the applicable zoning district.

63 (2) Outside the Traditional City, one Accessory Apartment may be  
64 allowed as a Conditional Use in accordance with the regulations  
65 and procedures provided in Chapter 65, Part 2D, when the  
66 building site is at last 1.5 times the minimum lot size for the  
67 applicable zoning district.  
68

69 ii) *Accessory Cottage.*

70 (1) Inside the Traditional City, one Accessory Cottage shall be allowed  
71 as a Permitted Use when the building site is at least 2.0 times the  
72 minimum lot size for the applicable zoning district.

73 (2) Outside the Traditional City ~~in the R-1AA, R-1A, R-1 and R-1N~~  
74 ~~Districts~~, one Accessory Cottage may be allowed as a Conditional  
75 Use in accordance with the regulations and procedures provided  
76 in Chapter 65, Part 2D provided that the building site is at least  
77 2.0 times the minimum lot size for the applicable zoning district.  
78  
79

(b) In R-2A and R-2B zoning districts an Accessory Apartment or Accessory Cottage may be allowed as a second dwelling unit on a single-family building site under the following conditions:

- i) Minimum lot size. The lot must meet the minimum size for duplex development.
- ii) Maximum number of units.
  - a. In the R-2A zoning district, a maximum of two units is allowed per lot. Accessory apartments or accessory cottages are prohibited on any building site in the R-2A zoning district where there is an existing duplex or tandem dwelling, or in connection with any new duplex or tandem dwelling development.
  - b. In the R-2B zoning district, the maximum number of units per lot shall not exceed the density established for the zoning district.
- iii) Conversion to tandem dwelling. On any building site in an R-2A or R-2B district, any new accessory cottage over 450 sq. ft. and built in connection with a one family dwelling must conform to the standards for tandem dwellings in Part 3C of this Chapter. An existing or new accessory cottage may not be split into a separate lot for purposes of creating a tandem dwelling unless the tandem dwelling standards are met.

(bc) Design Standards. The living quarters of an accessory cottage dwelling (ACD) shall not exceed 40% of the living quarters of the principal structure or 1,200 square feet, whichever is less. However, principal structures with living quarters less than 1,700 square feet may have an ACD up to 700 square feet. Appearance Review is required for ACD's, wherein ACD structures shall have the same exterior finish as the principal structure located on the same lot and shall incorporate at least two similar architectural details found on such principal structure into their design. Examples of similar architectural details include, but are not limited to, windows, doors, roof style, cornice detailing, vents, and dormers.

**SECTION 6:** Sections 58.514 through Section 58.519 of Part 3C of Chapter 58 entitled TANDEM SINGLE FAMILY DEVELOPMENT, shall be amended as follows:

### **3C. DUPLEX AND TANDEM DWELLING DEVELOPMENT**

**Sec. 58.514. - ~~Purpose of Tandem Single Family Development Regulations.~~**  
**Applicability and Conflicts.**

- (a) Intent. The ~~Tandem Single Family Development~~ standards and requirements of this part are intended to provide flexibility for creative site planning, to expand the choice and type of dwelling units available to the public, to maintain compatibility with, and the integrity of, the neighborhood through architecture and building orientation appropriate to such neighborhoods, ~~and~~ to create alternative

opportunities for fee simple ownership on real property ~~otherwise eligible for duplex development~~, and to encourage development of duplex and tandem units that are compatible with adjacent single family homes.

(b) Applicability. Except for duplex or tandem dwellings subject to the specific design standards of a planned development zoning district, the standards and requirements of this Part shall apply City-wide to the construction of new duplex and tandem dwellings, and substantial improvements or substantial enlargements to existing duplex and tandem dwellings.

(c) Conflicts. If any provisions of these regulations are determined to be in conflict with any other City regulation, these regulations shall prevail except where otherwise specified or regulated by a historic district or other overlay zoning district.

**Sec. 58.515. - ~~Design Review~~ Development Standards for Tandem Single Family Development.**

In addition to the Zoning District and the Use Regulations of Figures 1 and 2 and the standards applying to the review of Subdivision Plats, the following standards shall apply except where otherwise specified or regulated by a historic district or other overlay zoning district:

~~Design. The final composition of the houses on a corner lot Tandem Development project shall have appearances that are distinguishable and different from one another as determined by the Appearance Review Officer. As a guide, the following architectural elements should be considered in designing the Tandem houses and shall be considered during Appearance Review:~~

~~Exterior Finish~~

~~Roof Form~~

~~Window and Window Groupings~~

~~Porch/Balcony~~

~~First Floor Elevation~~

~~Location of Garage~~

~~Appeals of an Appearance Review Officer's determination may be made to the Board of Zoning Adjustment.~~

(a) Corner building sites in the R-2A District. Duplex dwellings are prohibited on corner building sites in the R-2A district. Tandem dwellings are allowed on corner building sites in the R-2A district.

(b) Principal pedestrian entrance on corner building sites. Corner building sites shall be developed such that the front dwelling unit has a principal pedestrian entrance oriented towards the front lot line and the rear dwelling unit has a principal pedestrian entrance oriented to the street side lot line.

(c) Environmental Features. The design of the development shall protect

environmental features of significant ecological or amenity value as recognized by this Chapter or the adopted Growth Management Plan. The Design shall to the extent possible retain existing mature canopy and understory trees.

(d) *Adjacent Land Uses.* The development shall be designed in a manner compatible with adjacent land uses. Compatibility of design within a neighborhood shall be considered during the review of the development.

(e) *Accessory Building & Structures.* Accessory buildings shall be located subject to the requirements of Chapter 58, Part 5A. Walls, fences, and swimming pools may be located on each lot provided they conform to the appropriate regulations contained within this Chapter.

(f) *Duplex Dwellings – Rear Setback.* The minimum rear yard setback for a duplex may be reduced by 5 feet if the following conditions are met: (1) the duplex is a front-to-back style, (2) the duplex building site is less than 55 feet wide, and (3) the building site has a maximum of one detached accessory building that does not exceed 100 sq. ft.

(g) *Street Trees.* At least one canopy street tree per 50 feet of street frontage is required. Location and species is required to meet Chapter 62, Part 2D. If a canopy tree cannot be installed due to power lines or other constraints, the following requirements apply:

a. The building site shall include understory street trees per location and species as required by Chapter 62, Part 2D, and

b. The front yard of the site shall include one onsite canopy tree for each canopy street tree that is not installed. This is in addition to the required onsite landscaping per section 60.223.

#### **~~Sec. 58.516.~~ Procedural Requirements.**

~~Tandem Single Family Development may be approved in connection with a Preliminary Subdivision or Minor Plat approval wherever such dwellings are permitted under this Chapter. An applicant wishing to undertake Tandem Single Family Development shall specifically request such approval in connection with application for Preliminary Subdivision or Minor Plat approval.~~

#### **~~Sec. 58.517~~ 58.516. - Development Site Standards and Principal Building Setbacks for Tandem Single Family Development.**

Tandem Single Family Development shall comply with the following lot development standards:

(a) *Development Site Standards.* ~~Only lots which would otherwise conform to the zoning district standards for duplex development may be subdivided for Tandem Single Family Development.~~ Except where otherwise specified or regulated by a historic district or other overlay zoning district, tandem dwellings shall be permitted on building sites that are otherwise zoned for and meet the building site standards for duplex dwellings. On

corner lots outside the R-2A zoning district, tandem dwellings are encouraged in lieu of duplex dwellings.

~~Variances Prohibited with Approval. Except as specifically permitted by these Tandem Single-Family Development regulations, the development standards as otherwise provided in this Chapter shall apply and no variances shall be granted in conjunction with the original approval of a Tandem Single Family Development.~~

~~Building Site Standards For One Family Lots.~~

(b) *Minimum Mean Lot Width:* Shall meet the lot width of applicable zoning district.

(c) *Maximum Residential Density:* As permitted by the Code for the applicable zoning district.

(d) Maximum building size.

1. The maximum 0.5 floor area ratio must be met on each tandem lot.

2. On interior lots, the gross square footage of the rear unit shall not exceed the gross square footage of the front unit.

(e) *Maximum Impervious Surface Ratio (ISR):* Varies by zoning district. Each created lot shall meet the ISR requirement of the applicable zoning district.

(f) *Minimum Principal Building Separation.* There shall be a minimum separation of 10 ft. between buildings/structures, with no less than 5 ft. on each side of the property line.

(g) *Minimum Required Setbacks for Tandem Dwellings.*

A. Lots Resulting from Corner Lot Subdivision (see FIGURE 8A).

1. Corner Lots unit

Front yard setback: As per the zoning district

Side yard setback: 5 ft.

Street side yard setback: 15 ft. for living quarters; 20 ft. for vehicular space(s)

Rear yard setback: 5 ft.

2. Interior Lots unit

Front yard setback: 15 ft. for living quarters; 20 ft. for vehicular space(s)

Side yard setback: 5 ft. and 15 ft.

Rear yard setback: 5 ft.

~~Porches. An unscreened open air porch of at least thirty six (36) square feet in size which is constructed of similar material to the facade of the principal structure may be extended up to three (3) feet into the required street side yard setback pursuant to a Modification of Development Standards process. Wherever such an extension has been approved, no other modification of the street side yard setback may be approved by the Zoning Official.~~

B. Lots Resulting from Through Lot Subdivision (see FIGURES 8B & 8C).

1. Corner Lots unit

Front yard setback: As per the zoning district

Side yard setback: 5 ft.

Street side yard setback: 15 ft.



- 257 Rear yard setback: 5 ft.
- 258 2. Interior ~~Lots~~ unit
- 259 Front yard setback: As per the zoning district
- 260 Side yard setback: 5 ft.
- 261 Rear yard setback: 5 ft.
- 262
- 263 C. Lots Resulting from Interior Lot Subdivision (see FIGURE 8D)
- 264 1. Front unit
- 265 Front yard setback: As per the zoning district
- 266 Side yard setback: As per the zoning district
- 267 Rear yard setback: 5 ft.
- 268 2. Rear unit
- 269 Front yard setback: 5 ft.
- 270 Side yard setback: As per the zoning district
- 271 Rear yard setback: 20 ft.
- 272

273 [Add figure 8D, update Figures 8A, 8B, 8C]

274

275 ~~*Orientation.* The front and front door of any dwelling unit in a Tandem Single Family~~

276 ~~Development shall be oriented to such dwelling unit's required front yard.~~

277

278 **Sec. 58.517. Appearance Review.**

279

280 To ensure that each duplex and tandem dwelling is harmonious and architecturally

281 compatible with existing residential structures in the surrounding neighborhood, an

282 appearance review in accordance with Section 62, Part 3 of this Code and the

283 following additional standards shall be required prior to the issuance of a building

284 permit. These standards apply to the front and side elevations of each building.

285

286 (a) *Variety in Design.* Duplexes or tandem dwellings with identical front elevations

287 must not be located on adjacent building sites. Simple reverse configurations of

288 the same elevation on adjacent lots are not sufficient. In order to qualify as a

289 different façade elevation, dwellings must have different roofline configurations.

290 In addition, at least four of the following architectural elements must be

291 different from the adjacent building site(s):

- 292 1. Architectural banding, trim, or cornice detail
- 293 2. Window trim, the number of mullions or muntins, or shutters
- 294 3. Window size and placement
- 295 4. A covered entryway or front porch design
- 296 5. Building projections and recesses
- 297 6. Decorative roofline elements such as brackets or chimneys
- 298 7. Façade articulation such as bay windows or dormers
- 299 8. Exterior color and material
- 300 9. One and two-story units

10. Other elements, as determined appropriate by the Appearance Review Officer

(b) Side-by-side Duplexes. Such duplexes must not have front elevations that are mirror images. The left side and right side of the building must be designed to include variety in at least three of the following elements:

1. Roof style
2. Architectural banding, trim, or cornice detail
3. Window trim, the number of mullions or muntins, or shutters
4. Window size and placement
5. A covered entryway or front porch design
6. Balconies or Juliette balconies
7. Building projections and recesses
8. Decorative roofline elements such as brackets or chimneys
9. Façade articulation such as bay windows or dormers
10. One and two- story units
11. Other elements, as determined appropriate by the Appearance Review Officer

(c) Compatibility. The Appearance Review Officer will consider the following factors when evaluating the compatibility of duplex or tandem dwelling development with the surrounding neighborhood:

1. Logic of overall design
2. Site plan
3. Landscaping and pervious surface
4. Driveway design, circulation and parking
5. Environmental features and tree preservation
6. Alignment of curb cut(s) to maximize ability to plant street trees and preserve on-street parking
7. Compliance with the traditional city standards and requirements for residential development (Section 62.600)
8. Compatibility with adjacent land uses
9. Features of existing development and neighborhood form

Staff may also make recommendations pertaining to setbacks and building height. Although these items are regulated by code, adjustments may be appropriate to improve neighborhood compatibility, address site constraints, or improve the design and character of the building.

(d) Architectural Style. Each building must have consistent architectural elements that create a recognizable architectural style, including but not limited to classical revival, colonial revival, craftsman, Florida vernacular, Mediterranean revival, mid-century modern, minimal traditional, Florida ranch, or other style identified in an architectural guidebook. All architectural elements, details, features, and finishes on the exterior of the

building must be both consistent and compatible with the architectural style employed. Architectural elements and variations shall not be restricted to a single façade. The Appearance Review Officer will consider the following elements when evaluating conformance with this requirement:

1. Roof type, pitch, form, material and overhang
2. Exterior elevation, materials and finishes
3. Window proportions, groupings, trim, muntins and details
4. Column size, taper, base and moulding
5. Balcony width and depth
6. Porch width, depth, elevation and railings
7. Chimney details
8. Dormers/parapets
9. Brackets, shutters, railings, rafter tails and decorative details
10. Transparency
11. Building projections and recesses
12. Entryway and front door design
13. Garage placement and door design
14. Exterior lighting
15. Incorporation of architectural features into any fire separation wall
16. Other elements, as determined appropriate by the Appearance Review Officer

Together, these elements should create a cohesive structure that avoids boxy, flat facades; highlights architectural features using authentic materials; and minimizes the impact of garages.

(e) Side Elevations. Interior side elevations that do not face a corner must include at least one of the following elements to prevent blank walls:

1. A minimum of 10% transparent or translucent materials on each story below the roof line; or
2. Vertical and/or horizontal articulation that includes stepping the wall plane in or out by at least 2 feet according to the following requirements.
  - i. The articulation must be provided on one-story walls and on both floors for two-story walls.
  - ii. The inset or projection must extend a distance of at least 6 feet along the side property line and may continue another 36 feet of wall length before repeating the articulation.
  - iii. Projections designed to accomplish the articulation requirement must meet the required side setback.

(f) Design Variances. An applicant proposing to construct a duplex or tandem that does not comply with the standards in this section may apply for a

design variance per sections 65.386-387 of the LDC. The following factors shall be considered in review of the request:

1. Neighborhood compatibility
2. Site constraints
3. Ability to preserve on-site trees or street trees
4. Creative architectural design not anticipated by this code
5. Other factors as addressed in a staff report

**Sec. 58.519. — Appearance Review.**

~~All applications for subdivision plats for Tandem Single Family Residential Developments shall include a detailed site plan, with building elevations, for appearance and neighborhood compatibility review. For developments located within the Traditional City, the design guidelines of Chapter 62, Part 6, Traditional City Design Standards shall be used for review.~~

**Sec. 58.518 Duplex and Tandem Dwelling Lot Splits**

- (a) Intent. The duplex and tandem dwelling lot split standards are intended to allow each dwelling unit within an existing duplex dwelling building site (including those that may currently be in condominium ownership and existing nonconforming side-by-side duplexes and court homes) to be converted to fee-simple ownership, similar to attached dwelling developments (see Part 3B of this Chapter), where such use is otherwise permitted by this Code. These standards are also intended to ensure proper design and unified maintenance of common areas within duplex dwelling developments.
- (b) Process. Duplex and tandem dwelling lot splits may be approved in conjunction with a subdivision plat or lot split approval wherever such dwellings are permitted by this Code. An applicant wishing to undertake a duplex or tandem dwelling lot split shall specifically request such approval in conjunction with an application for plat or lot split approval. All applications shall include a detailed site plan, with building elevations, for appearance and neighborhood compatibility review.
- (c) Effect of Approval. Where a subdivision plat has been approved for a duplex or tandem dwelling lot split development, the final plat shall substantially conform to the duplex or tandem dwelling lot split approval. No building permit shall be issued for any duplex or tandem dwelling lot split development except in accordance with the approved subdivision plat or lot split and upon evidence that any covenants, restrictions and easements for the duplex or tandem dwelling lot split development have been duly recorded. The City Attorney's Office shall review such agreements for form and legality. Such agreements shall be recorded as a covenant running with the property in perpetuity, or until such time as all buildings on the site are demolished.

434 (d) Ownership and Maintenance of Common Areas and Structures. Common areas  
435 and structures shall meet the requirements of Chapter 65, Part 5D  
436 (Improvements Retained in Private Ownership) and Part 5E (Maintenance of  
437 Common Improvements and Open Space). Agreements required by this section  
438 shall be subject to review and approval by the City Attorney's Office and shall  
439 be recorded as a covenant running with the property in perpetuity, or until  
440 such time as the dwellings are demolished.

441  
442 (e) Building Site Standards. In order to establish two separate lots, the duplex or  
443 tandem dwelling building site must conform to the following minimum  
444 standards:

- 445 1. The duplex or tandem dwelling building site must conform with Sec.  
446 58.110, Figure 1 for two family conventional development in the zoning  
447 district in which it is located, or
- 448 2. Must be a legal non-conforming dwelling or lot of record.

449  
450 (f) Lot Standards - Both lots within a building site must comply with the following  
451 minimum standards:

- 452 1. Minimum lot area for each dwelling is 2,000 sq. ft.
- 453 2. Front-to back lots are not required to have street frontage for the rear lot,  
454 but must include a vehicular cross-access easement to the right of way.
- 455 3. No existing accessory dwelling unit in an R-2A or R-2B district may be  
456 converted to a tandem dwelling unless it conforms to the development  
457 standards for tandem dwellings.

458  
459 (g) Duplex Dwelling Development Standards – Duplex dwelling lot split  
460 Developments shall conform to all of the following additional standards:  
461 1. The original undivided lot shall be considered one unified parcel or building  
462 site for zoning purposes.  
463 2. The exteriors of both duplex units shall be included in the required  
464 maintenance agreement described in Section (d).  
465 3. Utility lines must either be separate and independent, or for any shared  
466 utility, must have a joint maintenance agreement.

467  
468 **Secs. 58.519 – 58.529. Reserved.**

469  
470  
471 **SECTION 7:** Section 60.223 of the City Code shall hereby be amended to read as follows:

472  
473 **Sec. 60.223. - One-Family and Two-Family Residential Development Standards.**

474  
475 \* \* \* \* \*

476  
477 (c) *On-Site Trees.* Each one-family or two-family lot shall have canopy trees (with a  
478 minimum 2-inch caliper each) planted or retained as follows:



1. A minimum of 2 canopy trees for lots 6,000 square feet or less.
2. A minimum of 3 canopy trees for lots between 6,001 and 10,000 square feet.
3. A minimum of 4 canopy trees for lots between 10,001 square feet to 14,000 square feet.
4. A minimum of 6 canopy trees for lots between 14,001 square feet to 20,000 square feet.
5. A minimum of 9 canopy trees for lots between 20,001 and 43,560 square feet (1 acre).
6. A minimum of 12 canopy trees for each acre for lots greater than 1 acre.
7. For duplex or tandem lots less than 10,001 sq. ft., at least one of the required canopy trees shall be in the front yard. For duplex or tandem lots equal to or greater than 10,001 sq. ft., at least two of the required canopy trees shall be in the front yard.

On-site trees shall not be removed below the above minimum standards to establish vegetable gardens, landscape improvements, or site improvements, unless otherwise replaced.

\* \* \* \* \*

**SECTION 8:** Section 61.240 of the City Code shall hereby be amended to read as follows:

**Sec. 61.240. - Standards for Construction of Driveway Approaches, Curbscuts, Driveways and Similar Alterations.**

Except where specific approval is granted by the Public Works Director due to unique and peculiar circumstances or needs resulting from the size, location or special size of property requiring a modification of standards as set forth below, the minimum standards for the construction of driveway approaches, curbscuts, driveways and other similar alterations shall be as follows:

*Width (Residential Except Multifamily).* In properties developed for residential use (except multifamily), curbscuts and driveway approach shall conform to the following, as illustrated in Figure 6-A for residential driveways:

	Minimum Curbscut (a)	Minimum Driveway Width	Maximum Driveway Width (b)
<del>Single Standard driveway</del>	13 ft.	7 ft.	<del>12 ft.</del> <u>18 ft.</u>
<del>Double driveway—SF</del>	<del>16 ft.</del>	<del>10 ft.</del>	<del>18 ft.</del>
<del>Double driveway—other</del>	<del>22 ft.</del>	<del>16 ft.</del>	<del>24 ft.</del>
Joint-Use driveway <u>(for two</u>	20 ft.	14 ft.	24 ft.

<u>adjacent building sites)</u>			
Ribbon Driveways	<del>16 ft.</del> <u>13 ft.</u>	23" Width Per Ribbon 28" Width Between Ribbons	36" Per Ribbon
Curvilinear Driveway	13 ft.	7 ft.	12 ft. (c)

- a) The width of all curbcuts shall include two, three-foot wide (minimum) flares, or transitions, on each side of the driveway as shown on Figure 6-A.
- b) This width shall be as measured at the property line.
- c) No part of a curvilinear driveway shall exceed 12 feet in width within any required front yard.

Other requirements (Residential except multifamily). For duplex and tandem building sites, driveways shall not create a "Y" or "tuning fork" shape as shown in Figure \_\_\_\_\_.  
[Add figure]

\* \* \* \* \*

**FIGURE 6-A** (Revise to label as "residential driveway (except multifamily)" and "commercial or multifamily")

\* \* \* \* \*

Spacing. Where more than one curbcut is to be located on any single property, including a duplex or tandem building site, the minimum distance between such curbcuts on local streets shall be 42 feet, and on all thoroughfares shall be in accordance with the requirements set forth in Chapter 61, Part 1.

\* \* \* \* \*

**FIGURE 26. MINIMUM NUMBER OF PARKING SPACES REQUIRED FOR RESIDENTIAL USES**

Use	Per Dwelling Unit	Per Rated Patron Capacity	Special Requirements
Accessory Apartments	1		
Assisted living facilities		0.2	Plus 1 space
Attached Dwellings, <del>Duplexes</del> and Multiplexes (up to 7 units)	1		Plus 1 space for <u>each</u> dwelling units over 2,000 sq. ft. of gross floor area

Duplexes and Tandems	<u>1</u>		<u>Plus 1 space for each dwelling unit over 1,500 sq. ft. of gross floor area</u>
* * * * *			
One family dwellings ( <u>except for tandems</u> )	1		
* * * * *			

**SECTION 9:** Section 61.302 of the City Code shall hereby be amended to read as follows:

**Sec. 61.302. - General Requirements.**

\* \* \* \* \*

(g) *Residential Setbacks.* All vehicular use areas on residential properties, except for multi-family, shall provide a minimum separation of two feet between vehicular use areas and property lot lines. For duplex and tandem development, all vehicular use areas that abut living space (not a garage) on the front façade, shall provide a minimum two-foot separation between the vehicular use area and the living space that includes landscaping or planter boxes.

**SECTION 10:** Section 62.497 of the City Code shall hereby be amended to read as follows:

**Sec. 62.497. - Colonialtown special plan.**

(A) *Applicability.* The Colonialtown Special Plan shall be a zoning overlay district applicable to those properties in the Colonialtown neighborhood depicted in Figure 43(g). This Special Plan shall govern all development on these properties in accordance with the standards set forth herein.

(B) *Objectives.* The Colonialtown Special Plan is intended to achieve the following objectives:

- (1) Shape the future growth and physical changes to the Colonialtown neighborhood in a manner that is compatible with the character of existing homes; and
- (2) Preserve the quality of life for area residents; and
- (3) Maintain the one- and two-family character of the neighborhood.

(C) *Development Standards.*

- (1) ~~Tandem Single-Family Development shall be prohibited.~~ On any property zoned R-2A/T/SP, the maximum floor area ratio for single family and duplex development is 0.40 FAR.
- (2) No property shall increase the maximum allowable density as dictated by the zoning district by virtue of a rezoning from R-1A/T/SP or R-2A/T/SP to a Planned Development.

- (3) On any property zoned R-1A/T/SP, the required side yard setbacks may be flexible, provided that the two side yards shall collectively measure at least fifteen (15) feet, and provided that one side yard setback measures at least eight (8) feet and the other measures at least five (5) feet.
- (4) On any property zoned R-2A/T/SP, the maximum allowable ground floor porch encroachment allowed by section 62.600(e) shall be 6 feet. Second story porch encroachments are prohibited.

**SECTION 11:** Section 62.600 of the City Code shall hereby be amended to read as follows:

**Sec. 62.600. - General Requirements.**

The following standards shall apply to all residential uses located in residential and office districts in the Traditional City. These standards shall not apply to residential uses in other districts.

- (a) Projections and Recesses. In order to encourage projections, recesses and varied building planes in Traditional City neighborhoods, the Appearance Review Officer shall be authorized to permit up to 30% of the building frontage of residential principal structures to extend up to a maximum of 20% of the required front yard setback into the front yard setback. The Appearance Review Officer shall be responsible to review both the amount of the projection into the setback and the width of the projection. Wherever such a projection into the front yard setback has been approved, no other modification of front yard setback standards (see Chapter 65, Part 2F) shall be approved by the Zoning Official. All projections legally existing on the effective date of this ordinance shall be considered conforming. Approval of projections into the front yard setback shall be based upon the following standards:
1. *Scale.* The apparent size and bulk of the components of the facade shall be in proportion to the apparent size and bulk of the structure.
  2. *Facade Material.* The exterior facade material for a projection shall be the same as the existing principal structure.
  3. *Roof Styles.* Roof styles for a projection shall either be the same as the existing principal structure or shall be a combination as shown in Figure 47 (Compatible Roof Shapes).

FIGURE 47: COMPATIBLE ROOF SHAPES

- (b) Orientation. At least one ~~public~~ principal pedestrian entrance of each residential principal structure shall be oriented towards the front lot line or street side lot line. For duplex or tandem development on a corner lot or a through lot, both dwelling units must have a principal pedestrian entrance oriented toward their respective front lot lines.
- (c) Transparency.

1. The front and street side exterior walls of such structures shall each contain a minimum of 15% of transparent or translucent materials on each story below the roof line.
2. The street side exterior walls of such structures shall each contain a minimum of 10% transparent or translucent materials on each story below the roof line.
3. The transparency/ translucency requirement shall apply only to new construction or to those areas of a structure which are altered as part of a substantial enlargement or improvement. Garage facades shall not be included in the transparency/translucency calculation.

(d) Pedestrian Access. Pedestrian access from the public sidewalk, street right-of-way or driveway to the front doorway of the residential principal structure shall be provided via an improved surface. A pedestrian access up to 75 square feet that is separate from a driveway shall not be calculated as impervious surface.

(e) Garages and Carports.

1. In order to make the living area of a ~~house~~ residential building visually more dominant than its parking facilities, no more than 50% of the lineal ground floor principal facade of the principal structure may be garage or carport. ~~(except that duplexes may be allowed to have garage doors up to 9 feet wide and garages with an interior dimension of up to 12 feet wide where the Appearance Review Officer finds the design of the principal facade meets the intent of this section) and all~~
2. An open-air parking space that includes living space above (except for an open-air balcony not to exceed 8 feet deep) shall be regulated as a carport.
3. All garages or carports shall be flush with, or recessed from, the ground floor principal facade of the principal structure.
4. Open-air porches shall not be considered part of the front facade of the principal structure.
5. Front facing garages or carports for a duplex shall be recessed at least 5 feet from the ground floor principal façade of the principal structure.

(f) Accessory Cottages ~~Garage Apartments/Rental Cottages.~~ ~~A garage apartment or rental cottage shall be permitted on any building site having enough building site area to permit two or more dwelling units. No or garage apartment or rental cottage shall occupy more than 35% of the required rear yard. Garage apartments and rental cottages shall conform to the following requirements:~~

~~Minimum setbacks:~~

~~Front yard: set back from the front lot line a distance at least equal to that of the principal structure.~~

~~Side yard: 5 feet.~~

~~Rear yard: 5 feet for one story; 15 feet for two story.~~

~~Street side yard: 15 feet. [This is a repeat of existing code at 58.901 and Use Table~~

~~footnote 22. ]~~

656 Legally existing non-conforming ~~garage apartments~~ accessory cottages in single  
657 family zoning districts shall be permitted to remain provided that the building site  
658 area is 1.5 times the minimum required in the zoning district. However, no expansion  
659 or enlargement shall be permitted. Any ~~garage apartment~~ accessory cottage which  
660 has been discontinued may be re-established at any time within the existing  
661 structure as long as the site meets the area requirements of this Section.  
662

663 *(g) First Story Porch.* An unscreened covered porch which is open on three (3) sides  
664 (except for supporting columns and architectural features) shall be permitted on  
665 the first story of a residential building. Such porch may extend into the required  
666 front yard setback up to eight (8) feet and into the required street side yard setback  
667 up to five (5) feet, provided that the following conditions are met:

- 668 1. The porch has a minimum depth of six (6) feet;
- 669 2. The porch is constructed of materials similar to that of the principal facade;  
670 and
- 671 3. The porch design is consistent with the architectural style of the principal  
672 structure as determined by the Appearance Review Officer in accordance with  
673 generally accepted architectural standards.  
674

675 *(h) Second Story Porches and Balconies.* An unscreened porch or balcony may be  
676 permitted on the second story of a residential building. Such porch or balcony may  
677 encroach up to eight (8) feet into the required front yard setback and up to five (5)  
678 feet into the required street side yard setback, provided that the following  
679 conditions are met:

- 680 1. there is a first story porch directly below the second story porch or balcony;
- 681 2. the second story porch or balcony has a minimum depth of six (6) feet;
- 682 3. if covered, the second story porch or balcony has a separate roof line which  
683 is compatible with the design of the principal structure;
- 684 4. the second story porch or balcony is constructed of materials similar to that  
685 of the principal facade; and
- 686 5. the second story porch or balcony is consistent with the architectural style  
687 of the principal structure as determined by the Appearance Review Officer  
688 in accordance with generally accepted architectural standards.  
689

690 *(i) Porch Roof Projections.* Roof projections (eaves) may encroach up to two (2) feet  
691 beyond the porch into the required front or street side yard. Wherever a porch or  
692 roof extends into the front yard or street side yard setbacks, as allowed by this  
693 section, no other modification of front yard or street side yard setbacks may be  
694 approved by the Zoning Official.  
695

696  
697 **SECTION 12:** Section 65.411 of the City Code shall hereby be amended to read as follows:  
698

699 **Sec. 65.411. Subdivisions Eligible for Waivers of the Platting Process.**

The Planning Director may grant waivers from the platting process for the following types of subdivisions or re-subdivisions of land:

- (A) *Lot Split*. A subdivision that will result in the creation of no more than two (2) additional residential, commercial or industrial lots, so that the lot to be split becomes no more than three lots, may be considered a Lot Split provided the following conditions are met:

...

- (8) For Duplex and Tandem Dwelling Lot Splits, joint maintenance easements and agreements already exist on the lot to be split or are provided by separate instrument.

**SECTION 13:** Section 65.581 of the City Code shall hereby be amended to read as follows:

#### **5E. MAINTENANCE OF COMMON IMPROVEMENTS AND OPEN SPACE**

##### **Sec. 65.581. Establishing a Means of Common Ownership and Management.**

Prior to approval of the Final Site Plan or Final Subdivision Plat or Lot Split, the developer/builder shall provide documents to establish a means of common ownership and management of all common open space and common improvements. Such documents shall establish an organization or entity to own and manage the open space and/or improvements, describe its membership and responsibilities, and shall include a maintenance and fiscal program for the improvements. In no event shall a Certificate of Completion be issued for a development involving common open space and/or improvements until the entity of common ownership and management has been incorporated.

**SECTION 14:** Section 65.582 of the City Code shall hereby be amended to read as follows:

##### **Sec. 65.582. Funding Mechanism Required.**

(A) *Recorded Document*. Prior to approval of any Final Site Plan or Final Subdivision Plat or Lot Split, the developer/builder shall provide and record documents to establish a funding mechanism for the maintenance of the common improvements and/or open space. The documents shall provide a method for the organization or entity established in this Section to assess the property owners having beneficial use of the improvements and open space for the cost of their maintenance. The method of assessment shall provide the legal right for the organization or entity to impose liens against those properties for which payment of any assessment is not made. Collection of assessments and enforcing the payment thereof shall be the responsibility of the organization or entity and shall not be the responsibility of the City of Orlando. The assessments imposed by the organization or entity shall not relieve property owners from any taxes, fees, charges or assessments imposed by the City or any other governmental agency.

(B) *Notice to Buyers*. The documents shall also provide for notice to purchasers and prospective purchasers of properties that the organization or entity shall have the authority to make assessments and impose liens as provided in this Section.

**SECTION 15:** Section 66.200 of the City Code is hereby amended to read as follows:

**Sec. 66.200 – Definitions**

...  
~~*Cluster Development:* A development approach which permits reduction in the minimum lot size requirements and other zoning district regulations for certain residential uses while keeping overall project density the same as in conventional development.~~

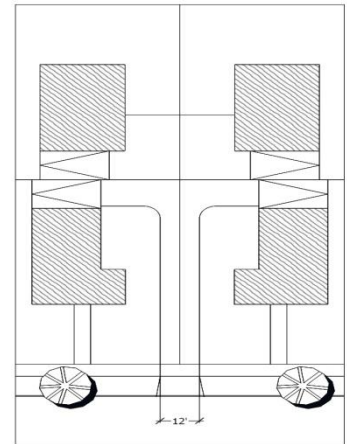
...  
*Court Home Development – Any Duplex or Tandem Development in which two abutting Duplex and/or Tandem building sites are designed so that a single driveway serves three or more of the dwelling units on the two abutting sites, or where two driveways on the abutting building sites are located adjacent to each other along or near their common property line. This term also includes any situation where a New Duplex or Tandem Development is to be built abutting an Existing Duplex or Tandem Development in such a way that the Existing and New Developments taken together will compose a Court Home Development.*

...  
*Dwelling, Front-to-Back Duplex:* Any Duplex Dwelling Development that has the majority of one dwelling unit located behind the other dwelling unit with respect to the front lot line (See Illustration).

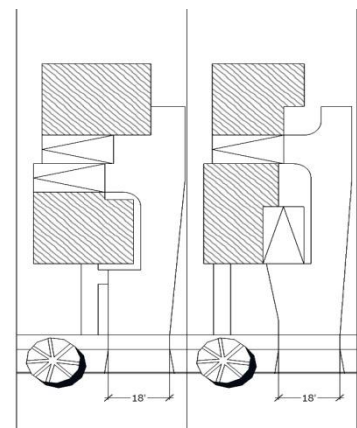
...  
*Dwelling, One Family (or Single Family):* A dwelling designed for and occupied exclusively by one family. This term includes Conventional, ~~Average lot, Clustered Tandem,~~ and Zero-lot-line One Family dwellings.

...  
*Dwelling, Side-by-Side Duplex:* Any Duplex Dwelling Development where both dwelling units are side-by-side and at approximately the same distance with respect to the front lot line (See Illustration).

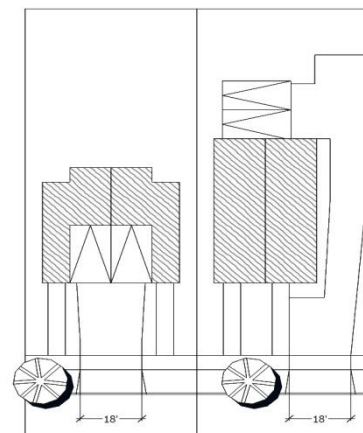
...  
*Dwelling, Two Family (or Duplex):* A single structure on a single lot or building site containing two dwelling units, each of which is totally separated from the other by a wall or ceiling,



*Court Home Development*



*Front-to-Back Duplex*



*Side-by-Side Duplex*



unpierced for any purpose including access, communication, or utility connection. The minimum height of the wall between the two units shall be at least 8 feet, and the space on either side of this wall shall contain heated living space and/or a garage.

...

*Tandem Single Family Development:* Two detached single family units on a single lot that is subsequently subdivided into two smaller fee simple lots, to allow for separate ownership of the units, with each of the new lots smaller than the minimum lot area for single family units generally applicable in the zoning district.

ATTACHMENT C:

Design Guidelines

# DUPLEX DESIGN GUIDELINES

## PURPOSE

As “The City Beautiful”, Orlando’s vision is defined by a focus on its amenities. One of the key elements of that vision is strong urban design. Attention to building design encourages an aesthetically appealing and safe place to live. Traditional residential forms such as porches, gable roofs, bay windows, color, texture and materials provide human scale that contribute to a sense of ownership and comfort.

The Duplex design standards express the City’s expectations regarding form and character of new duplexes and promote the designs that enhance the character and quality of life in the City of Orlando. Compliance to these standards is a requirement of the Appearance Review approval.

These guidelines are intended to:

1. Protect and to enhance the positive design elements of the Traditional City .
2. Protect viable and stable neighborhoods from uses not in keeping with their established character and use.
3. Provide standards for residential uses located outside activity centers and mixed use corridors



As we look to the future, our past achievements provide inspiration for even greater things to come. Orlando is fortunate to have a rich heritage, grounded by a 100-year history of community planning that dates back to the City Beautiful movement.

# DUPLEX DESIGN GUIDELINES

## NEIGHBORHOOD CHARACTER



In some neighborhoods the architectural style is more defined than in others and on some buildings it is more apparent than on others. New development should respect the features that contribute to the developed form. The intent is not to mimic the architecture of any area, but to reflect the features that provide dominate architectural character on the block face.





# DUPLEX DESIGN GUIDELINES

## BUILDING DESIGN

Each building must have consistent architectural elements that create a recognizable architectural style. *Side-by-side duplexes* must not be mirror images. The left side and right side of the building must be designed to include a variety of architectural features. The intent is to ensure each duplex development is harmonious and architecturally compatible with the existing residential structures in the surrounding neighborhood.



In Figure 1- The image depicted is a mirrored duplex and is prohibited. There is no recognizable design style or variety of architectural features.

This roofline lacks character and identity. There is no detail to help break up the mass of the building.



In Figure 2 - There is a recognizable design style and variety of architectural features.

Windows, doors and entrances add architectural interest and curb appeal to a home. An attractive and inviting home contributes positively to a neighborhood. The new code will require further differentiation of each side.

### ARCHITECTURAL FEATURES TO LOOK FOR:

- Roof style
- Architectural banding, trim, or cornice detail
- Window trim, the number of mullions or muntins, or shutters
- Window size and placement
- A covered entryway or front porch design
- Balconies or Juliette balconies

# DUPLEX DESIGN GUIDELINES

## BUILDING DESIGN—ANTI-MONTONY

In order to encourage an attractive and interesting streetscape, duplex developments shall employ fundamental design principles in order to provide differentiation among adjacent homes. Facades for each dwelling unit must incorporate architectural elements that add visual interest to the neighborhood and are well proportioned to achieve good human scale.



Many elements make up the elevation of a home, including but not limited to architectural style, architectural accent elements, massing, setbacks, building elevation, color scheme, material and texture, landscape and hardscape.



**The architectural elements and features incorporated into each unit:**

- Architectural details
- Decorative elements that incorporate landscape
- Distinctive paint schemes
- Different rooflines and decorative roofline elements



Each duplex shall be built and maintained with substantially different elevation designs, roof lines and preferably different primary paint color from any other duplex that is adjacent on the same side of the street (side-by-side), directly across the street, and diagonally across the street. Simple reverse configurations of the same house design on adjacent lots are not sufficient.



# DUPLEX DESIGN GUIDELINES

## CHARACTER AND MASSING

To reduce the apparent size of buildings and create visual interest, building facades and roofs must include architectural elements that vary the appearance of a large building mass, break up long blank walls, express the individuality of each dwelling, and enhance the character of the neighborhood.



Mass separation per unit

First and second floor transparency

The proportion and massing of the building should relate favorably to the form, proportions and massing of the existing building pattern on the street.

Architectural interest



Variation of roof heights and window details and material change

Architectural elements and variations shall not be restricted to the front façade only. The front and both sides of a building must display a similar level of quality and architectural interest.

First and second floor transparency

Mass separation per unit

# DUPLEX DESIGN GUIDELINES

## GENERAL REQUIREMENTS FOR DETAILS

### ARCHITECTURAL DETAILS

### RECOMMENDATIONS



Provide appropriate architectural interest at roof line

Include window mullions and trim that are well proportioned and are an appropriate architectural detail

Add side transparency and a distinctive paint scheme

### DECORATIVE SHUTTERS & DETAILS

### RECOMMENDATIONS



Include decorative trim at windows to provide added visual interest

If decorative shutters are used, ensure that sufficient space is provided between adjacent openings. The size of shutters should be proportionate to the size of the windows, so they appear to be able to close over the window.

### MATERIALS & DETAILS

### RECOMMENDATIONS



Use different façade elevations and different roofline configurations, even if the interior floor plan is the same.

Include variety in architectural trim, façade material, window size and window placements.

Developments of multiple duplexes must achieve architectural variety by accommodating a variety of styles, providing enough variations of the same architectural style and by using multiple design elements.



# DUPLEX DESIGN GUIDELINES

## ARCHITECTURAL DETAILS

Each building must have consistent architectural elements that create a recognizable architectural style. The elements listed below are considered when evaluating.

- Roof type, pitch, form, material and overhang
- Exterior elevation, materials and finishes
- Window proportions, groupings, trim, muntins and details
- Column size, taper, base and molding
- Balcony width and depth
- Porch width, depth, elevation and railings
- Chimney details
- Dormers/parapets
- Brackets, shutters, railings, rafter tails and decorative details
- Transparency
- Building projections and recesses
- Entryway and front door design
- Garage placement and door design
- Exterior lighting
- Incorporation of architectural features into any fire separation wall



Column capital  
And base

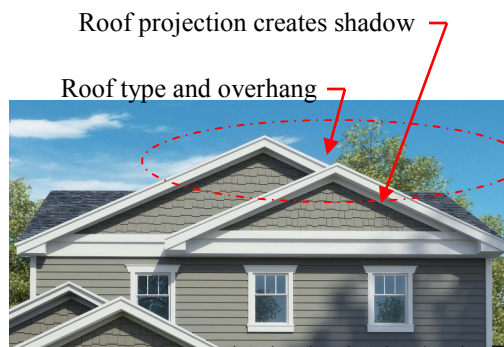
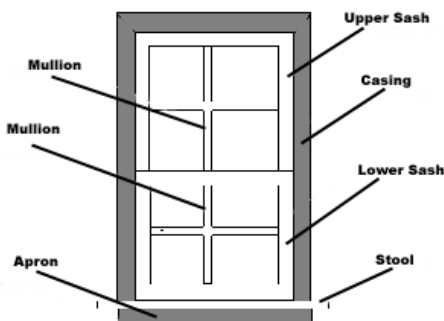


Decorative  
detailing

Column taper

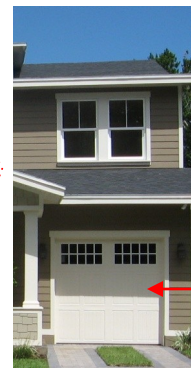
Column base

6 ft porch depth



Roof projection creates shadow

Roof type and overhang

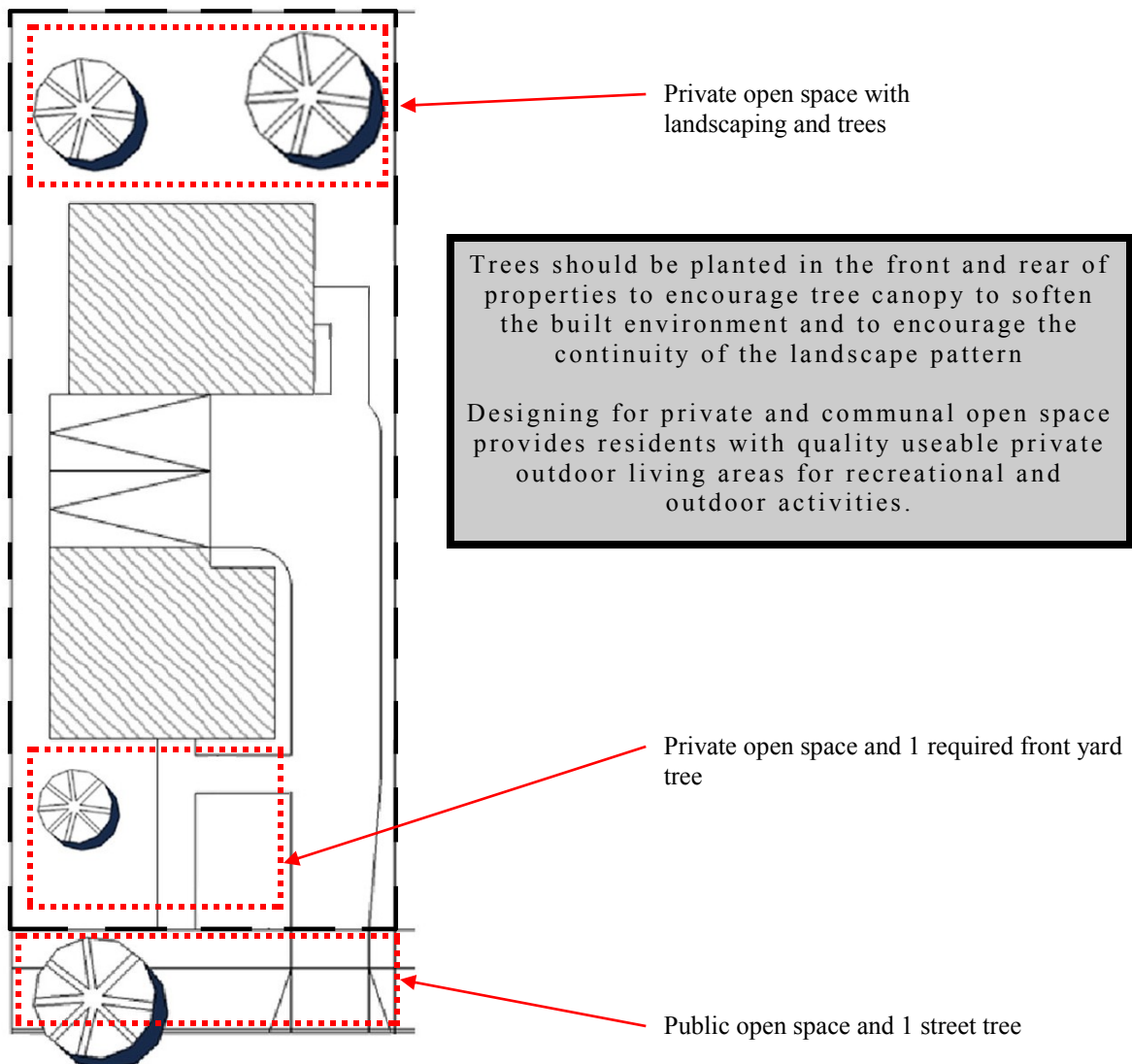


Garage door detail and  
upper panel  
transparency

# DUPLEX DESIGN GUIDELINES

## LANDSCAPE DESIGN

Landscaping is to enhance the visual setting and accentuate the design qualities of the built form. Landscape solutions are used to create a screening effect for visually obtrusive land uses or building elements.



The sequence of open space provides a clear but subtle transition from the public realm to the private realm. The architecture and landscape design also provide “eyes on the street”

# DUPLEX DESIGN GUIDELINES

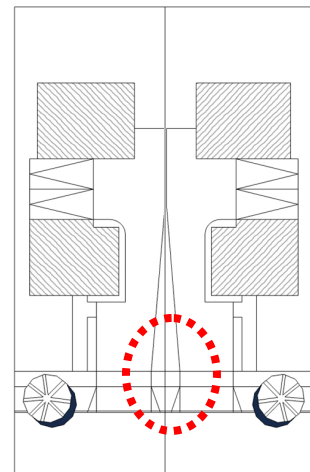
## GARAGE AND DRIVEWAY DESIGN

The Code requires 1 parking space for each single family unit. The same applies for duplex and townhome units except these units need to have two parking spaces when the units are greater than 1,500 g.s.f

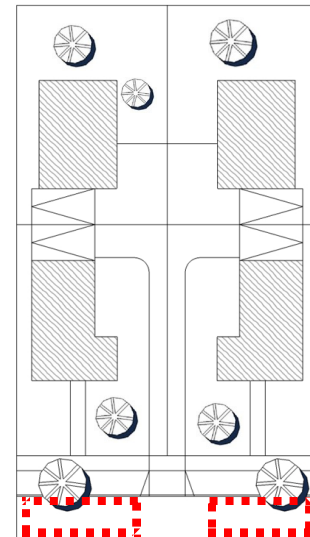
- Garages should be properly sited as to not be the primary design feature of the home.
- Garage doors must be consistent with the style of architecture.
- In circumstances where front loaded garages are allowed, some architectural design element that provides relief to the façade and softens the massing of the door, such as, a roof with decorative brackets, columns and or trellis are strongly encouraged.



- Two curb cuts (or one large curb cut) reduce available space for on-street parking and front yard trees.



- Combining the two curb cuts into one allows on-street parking and allows for both units to plant front yard trees.



By utilizing different building techniques, new development can accommodate the additional space needed for multiple cars, and deemphasize the garage door but also ensure that the character of the neighborhood is not compromised by protecting on-street parking, ensuring better access for large vehicles like trash collection and mail delivery and ensuring that driveways and garages are not the dominate feature.

ATTACHMENT D:  
Development Standards



## Duplex and Tandem Development

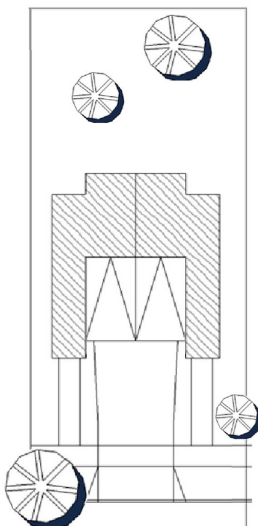
**Disclaimer:** This document is a summary of Orlando City Code requirements for duplex and tandem development. It is not intended as a substitute for reading the City code. If there are conflicts between this summary and City code, the code requirement applies. City code is available at [www.municode.com](http://www.municode.com).

Text in black identifies existing code requirements. Text in red identifies new or revised city code requirements included in the duplex and tandem code amendments.

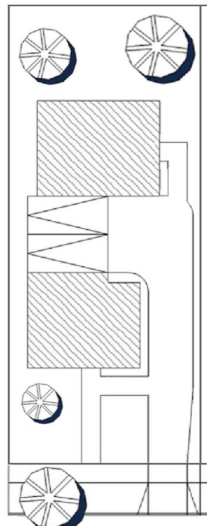
### DEFINITIONS

*Dwelling, Two Family (or Duplex)* A single structure on a single lot or building site containing two dwelling units, each of which is totally separated from the other by a wall or ceiling, and the space on either side of this wall shall contain heated living space and/or a garage.

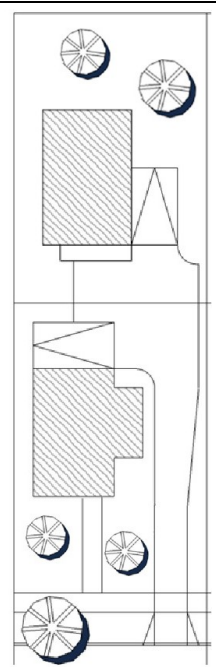
*Side-by-side Duplex* Any building site with one unit adjacent to the other.



*Front-to-Back Duplex* Any building site with one unit behind the other.



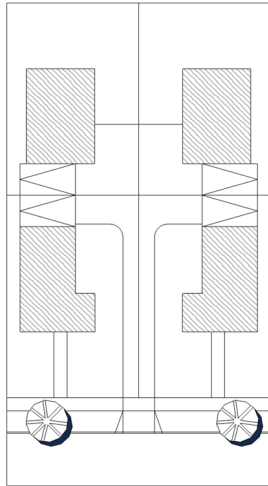
*Tandem Single Family Development:* Two detached single family units located on a conventional single family building site that has been split into two fee simple lots.



## Duplex and Tandem Development

### DEFINITIONS

*Court Home Development* Two abutting duplex and/or tandem building sites are designed with a shared driveway.



*Floor Area Ratio (FAR)* is the ratio of a building's total floor area (gross floor area) to the size of the piece of land upon which it is built.

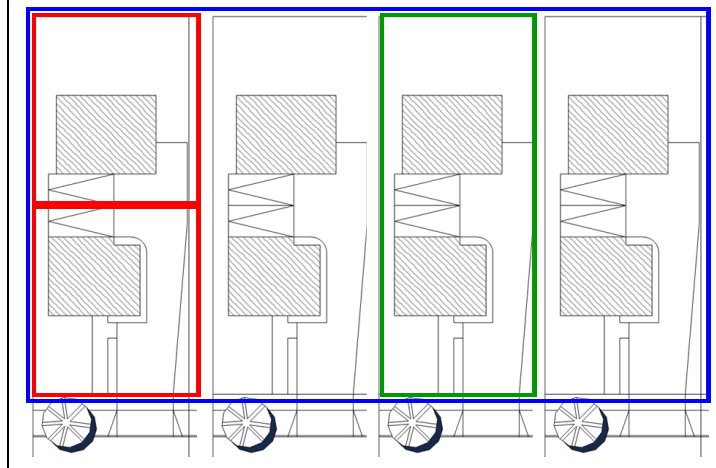
As a formula: Floor area ratio = (total covered area on all floors of all buildings on a certain plot, gross floor area) / (area of the plot)

Included within such sum shall be the attic spaces providing structural head room of at least 5.5 feet; interior balconies or mezzanines; and any other space reasonably usable for any purpose except parking, no matter where located within a building.

*Lot* An area of land with specific boundaries that has an assigned parcel ID number. This term includes tract and parcel. (Red lots below)

*Building Site* Any group of one or more lot(s) or parcel(s) occupied or intended for development as a unit. (Green building site below)

*Development Site* The property under consideration for a development, which may contain one or more Building Sites and shall be under single ownership at the time of application. (Blue development site below)



## Duplex and Tandem Development

### BUILDING STANDARDS

Requirement	R-2A	R-2B
Max. floor area ratio (FAR)	0.50 (0.40 in CNSP*)	
Min. lot area	5500 sq. ft.	5000 sq. ft.
Min. lot width	50 ft. (57.5 ft. on corner lot platted after 2/4/59)	
Min. lot depth	110 ft.	100 ft.
Min. building site frontage	25 ft.	
Max. number of units per lot	2 units	Up to 16 units per acre
Min. front setback	25 ft.	20 ft.
Min. side setback	5 ft.	
Min. street side setback	15 ft. (20 ft. for a garage)	
Min. rear setback	25 ft. (May reduce to 20 ft. for certain front-to-back duplexes and tandems.)	
Max. impervious surface ratio (ISR)	0.55 total and 0.40 in the front yard	0.60 total and 0.40 in the front yard
Max. height	30 ft. max. (35 ft. outside Traditional City)	

*R-2A 1—2 Family District.* The R-2A district is intended to conserve the general character of established neighborhoods which have developed over time as a mixture of single family homes, duplexes and houses with garage apartments and accessory apartments. New development in this district is encouraged to maintain the prevailing bulk, height, setbacks and general design of the surrounding neighborhood.

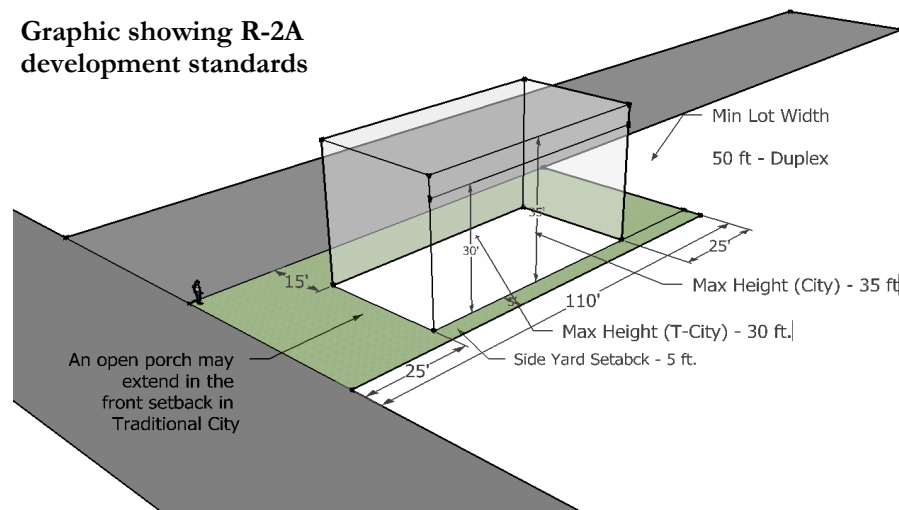
*R-2B 1—5 Family District.* The R-2B district is intended to conserve the general character of established neighborhoods which have developed over time as a mixture of single family homes, duplexes, small apartment buildings of 3—5 units, garage apartments and accessory apartments. New development in this district is encouraged to maintain the prevailing bulk, height, setbacks and general design of the surrounding neighborhood.

#### *Porches*

- Inside the Traditional City, a porch may extend up to 8 feet (6 feet in CNSP\*) into the front setback and up to 5 feet into the street side yard setback.
- A second story porch may also encroach, **except in CNSP**.
- See Section 62.600 for details.

\* CNSP = Colonialtown North Special Plan area

**Graphic showing R-2A development standards**





## Duplex and Tandem Development

### PARKING AND DRIVEWAYS

#### Required Parking

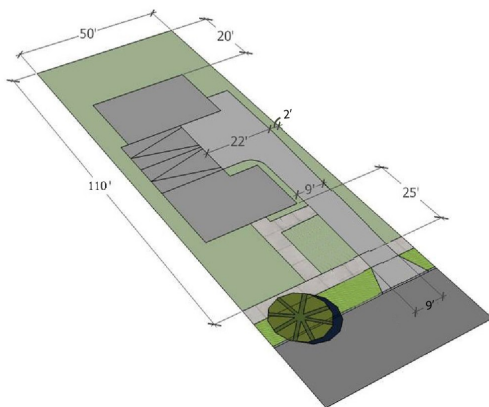
- Units less than **1500 sq. ft.**: One legal parking space required behind the front setback.
- Units greater than or equal to **1500 sq. ft.**: Two legal parking spaces required behind the front setback.
- Spaces accessed from the street side lot line must be set back at least 20 feet.
- Each space must be a minimum of 9 ft. wide by 18'6" deep. If a wall is adjacent to the space (side of house or interior of garage), space must be one foot wider for each adjacent wall (see LDC2016-00377).
- Improved surface required (no grass or gravel)

#### Open-Air Parking Spaces

- **May not have living space above. If living space is above, it is regulated as a carport.**
- **May have an open air balcony up to 8 feet deep above.**
- **If adjacent to the front façade of the house, must be separated by a two-foot wide landscaping buffer.**

#### Garages and Carports

- **Must not occupy more than 50% of the linear front façade**
- **Front-facing structures must be recessed 5 feet from the front façade**

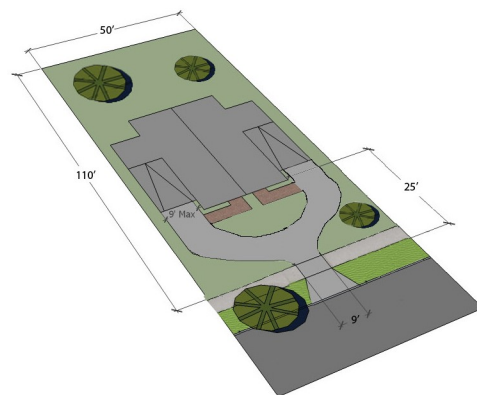


#### Driveways

- At the property line, the minimum driveway width is 7 ft. and the maximum is **18 ft.**
- The average driveway width, measured at the front setback and again at the point 5 feet from the front property line, varies by lot width and must not exceed:
 

Lot Width	Driveway width
< 40 feet	12 feet
40.01 to 46.67 feet	14 feet
46.68 to 53.33 feet	16 feet
53.34 to 60.00 feet	18 feet
60.01 to 66.67 feet	20 feet
66.68 to 73.33 feet	22 feet
> 73.34 feet	24 feet
- Driveway must be minimum 2 feet from the side property lines.
- **Driveways must not be shaped like a tuning fork (see Figure 4A).**
- Maximum impervious surface in the front yard is 0.40.
- One curbcut is allowed, minimum of 13 feet wide
- **A second curbcut is allowed with a minimum on-site separation of 42 feet**
- Curbcuts must be separated by a minimum of 10 feet from off-site curbcuts
- Curbcuts must be a minimum 3 feet from the side property lines.
- On a major thoroughfare, additional restrictions may apply (see Chapter 61, Part 1).

- Fig4A: Tuning fork not allowed





## Duplex and Tandem Development

### LANDSCAPING AND STREET TREES



*Canopy Tree:* Typically grows taller than the house and provides the majority of shade in residential areas. Examples include magnolia, oak, maple and elm.  
\*Laurel Oaks are strongly discouraged.



*Understory Tree:* Typically smaller than a canopy tree. May be ornamental or seasonally flowering. Examples include crepe myrtle, holly, and certain palm trees.

#### Street Trees

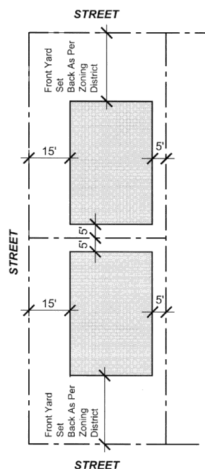
- Canopy street trees must be planted approximately 50 feet on center (see sections 61.226 and 60.216).
- If power lines or other restrictions mean that canopy trees cannot be planted, understory trees must be planted instead at a spacing of 30 to 45 feet on center (see section 60.216).
- For each canopy street tree that is replaced by understory street trees, an onsite canopy tree is required.

#### On-site Landscaping

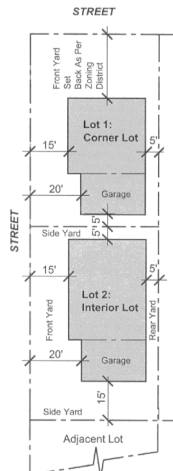
- For lots less than 6,001 sq. ft., 2 canopy trees are required, of which 1 must be in the front yard.
- For lots 6,001 sq. ft. to 10,000 sq. ft., 3 canopy trees are required, of which 1 must be in the front yard.
- For lots 10,001 sq. ft. to 14,000 sq. ft., 4 canopy trees are required, of which 2 must be in the front yard.
- See section 60.223(c) for lots greater than 14,000 sq. ft.
- All other landscaping requirements in Chapter 60, Part 2F must be met.

### TANDEM SETBACKS

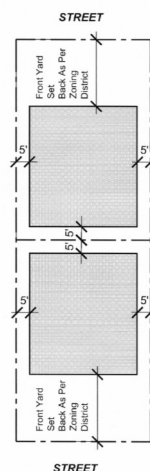
THROUGH CORNER LOT - After  
(Subdivided into Two Lots)



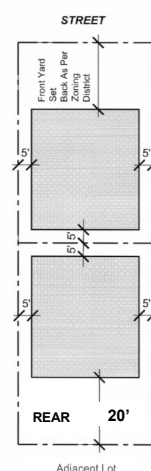
CORNER LOT - After  
(Subdivided into Two Lots)



THROUGH INTERIOR LOT - After  
(Subdivided into Two Lots)

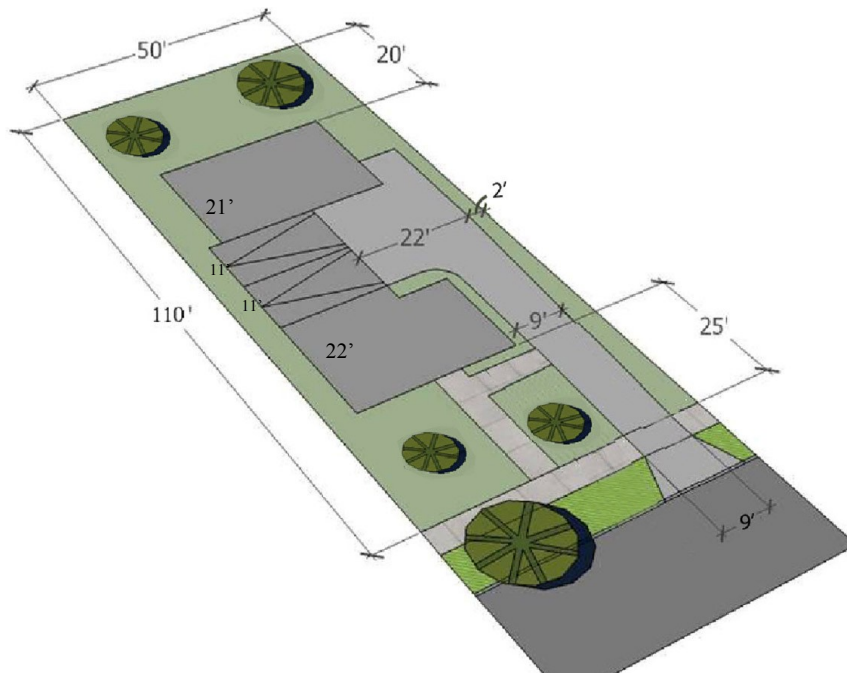


INTERIOR LOT - After  
(Subdivided into Two Lots)



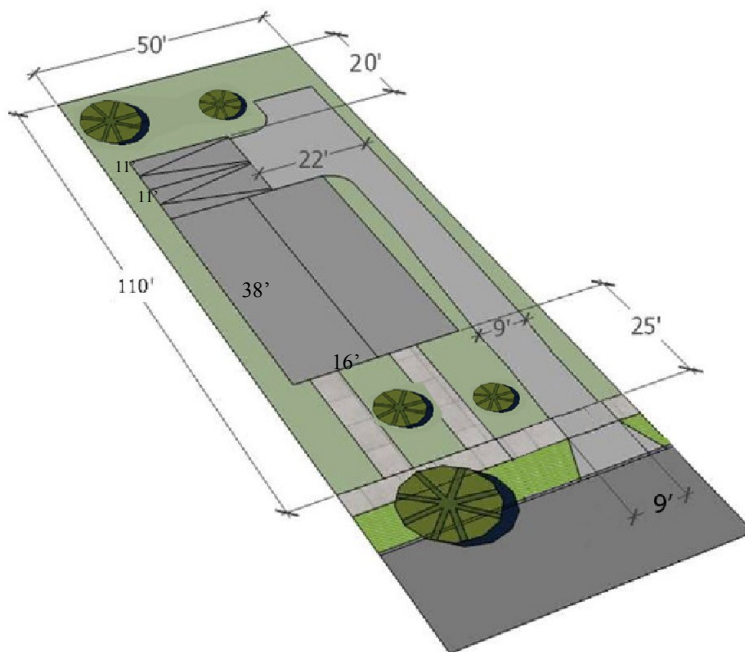
EXAMPLES: SMALL LOTS (50' X 110')

#1: FRONT TO BACK DUPLEX, SIDE GARAGES



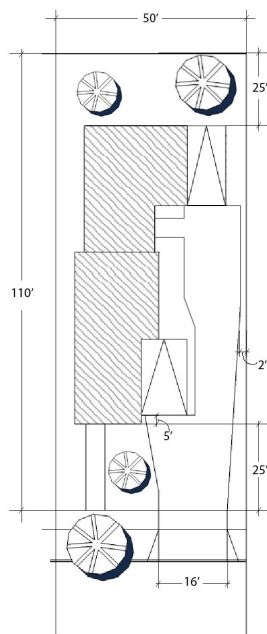
ISR = .55%  
Front yard ISR = 40%  
Living space = 2750 sq. ft.  
FAR = 0.50

#2: SIDE BY SIDE DUPLEX, REAR GARAGES

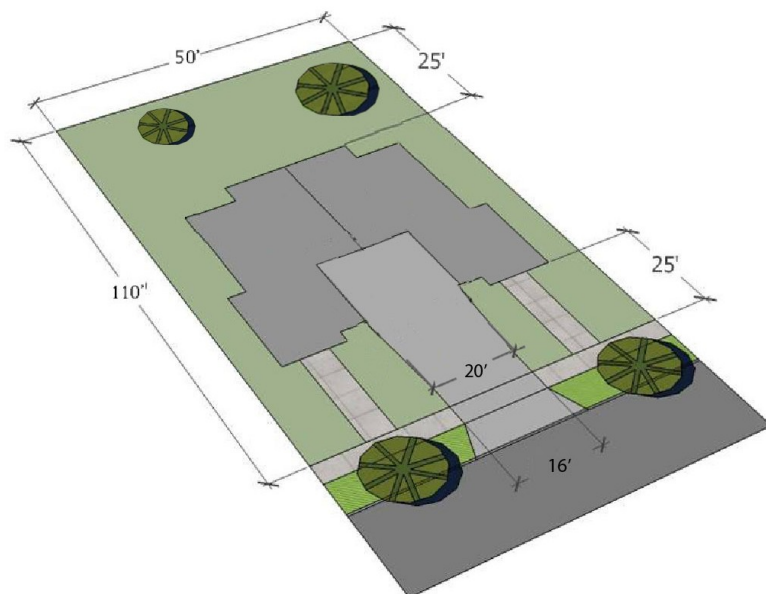


EXAMPLES: SMALL LOTS (50' X 110')

#3: FRONT TO BACK DUPLEX, SEPARATED GARAGES

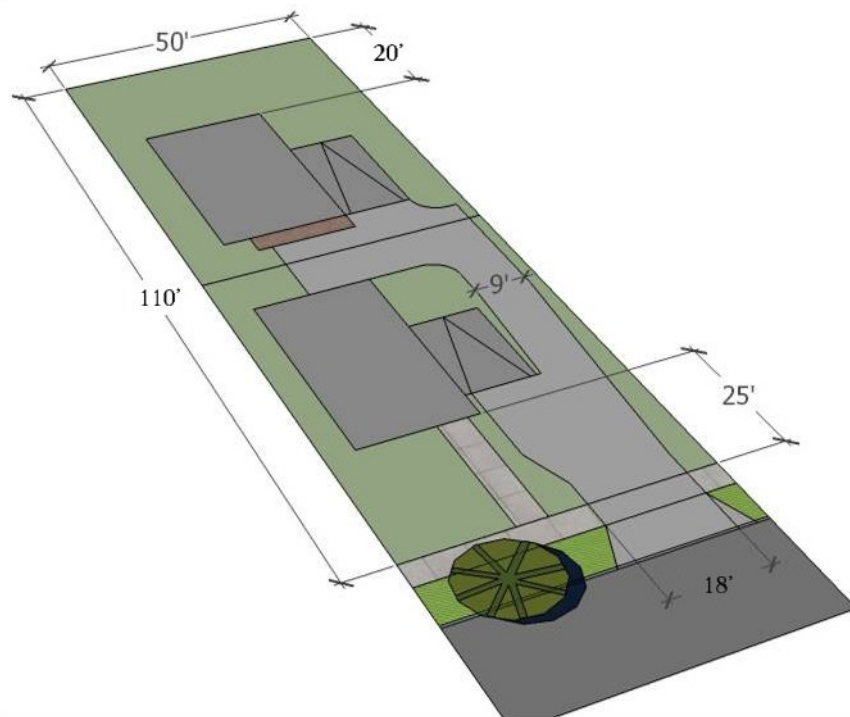


#4: SIDE BY SIDE DUPLEX, NO GARAGES



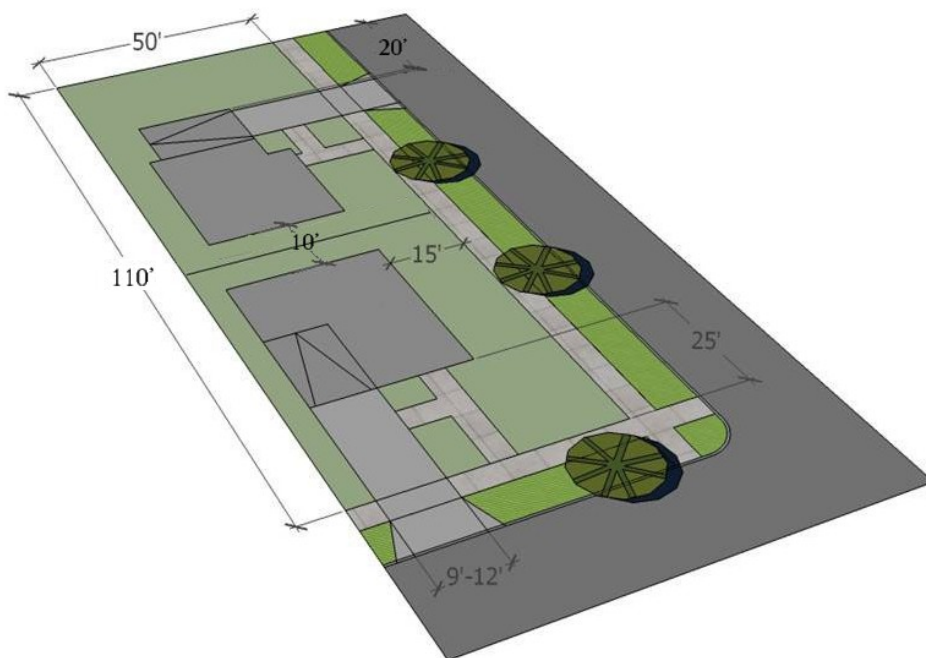
EXAMPLES: SMALL LOTS (50' X 110')

#5: FRONT TO BACK TANDEM, INTERIOR LOT



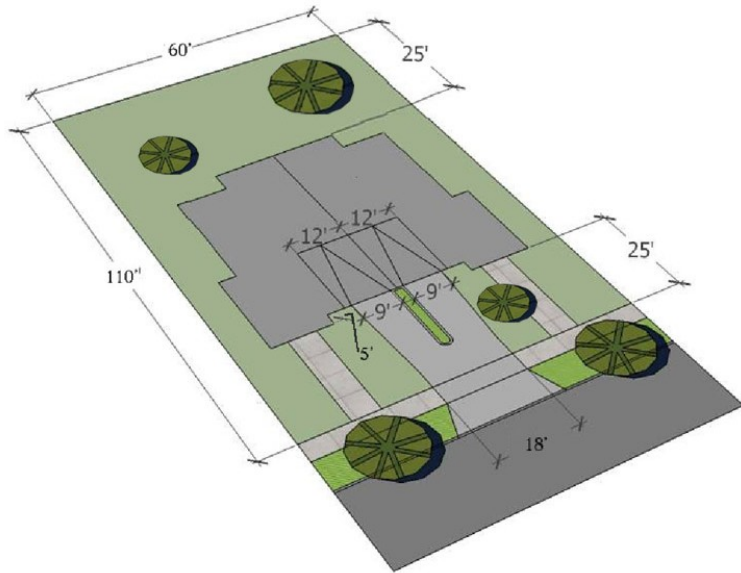
ISR = .55%  
Front yard ISR = 40%  
Living space = 2750sq. ft.  
FAR = 0.50

#6: FRONT TO BACK TANDEM, CORNER LOT

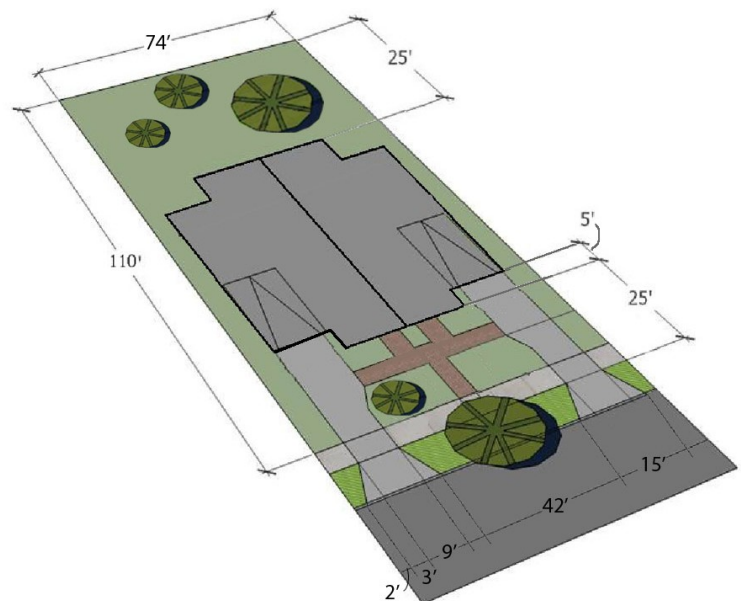


EXAMPLES: WIDE LOTS (60' X 110' OR MORE)

#7: SIDE BY SIDE DUPLEX, ONE DRIVEWAY



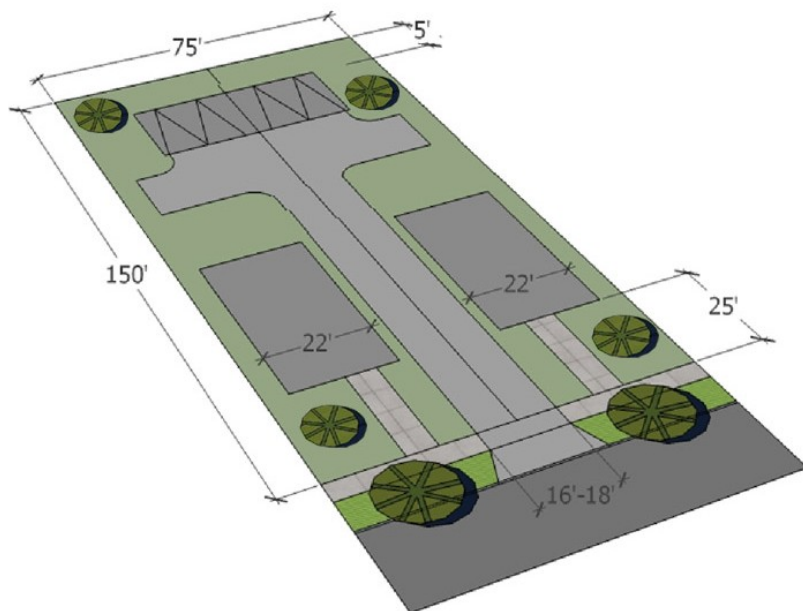
#8: SIDE BY SIDE DUPLEX, TWO DRIVEWAYS



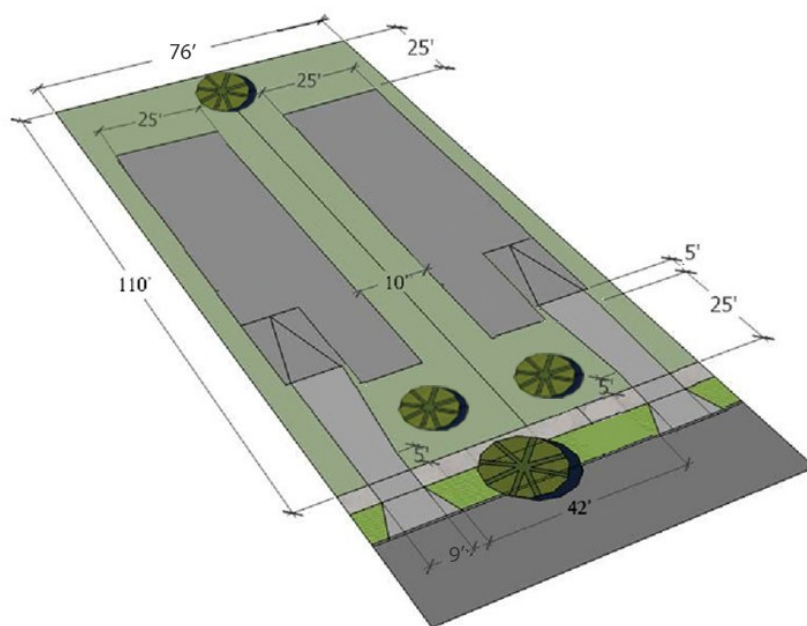


EXAMPLES: WIDE LOTS (60' X 110' OR MORE)

#9: SIDE BY SIDE TANDEM, ONE DRIVEWAY

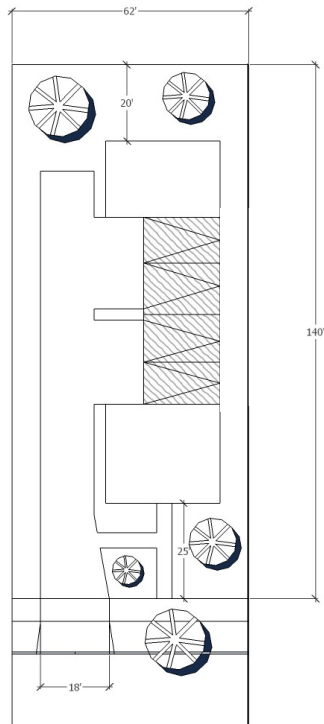


#10: SIDE BY SIDE TANDEM, TWO DRIVEWAYS

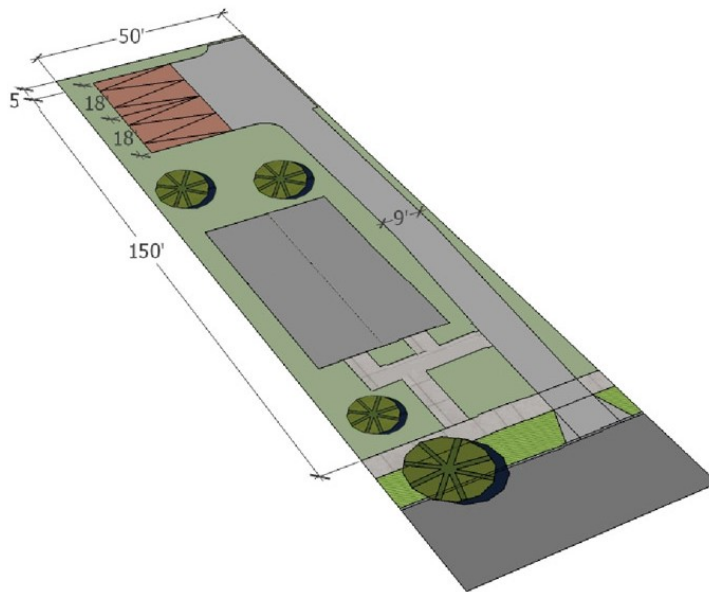


EXAMPLES: DEEP LOTS (50' X 150' OR MORE)

**#11: FRONT TO BACK DUPLEX, 2 PARKING SPACES EACH**

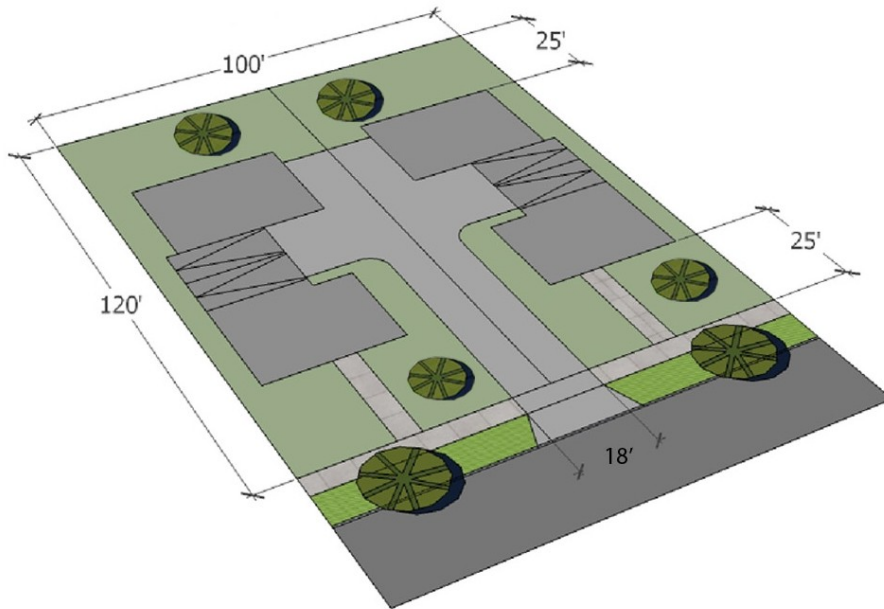


**#12: SIDE BY SIDE DUPLEXES, 2 PARKING SPACES EACH**



EXAMPLES: DOUBLE LOTS (100' X 110' OR MORE)

#13: COURT HOME DUPLEX



#14: COURT HOME TANDEM

