

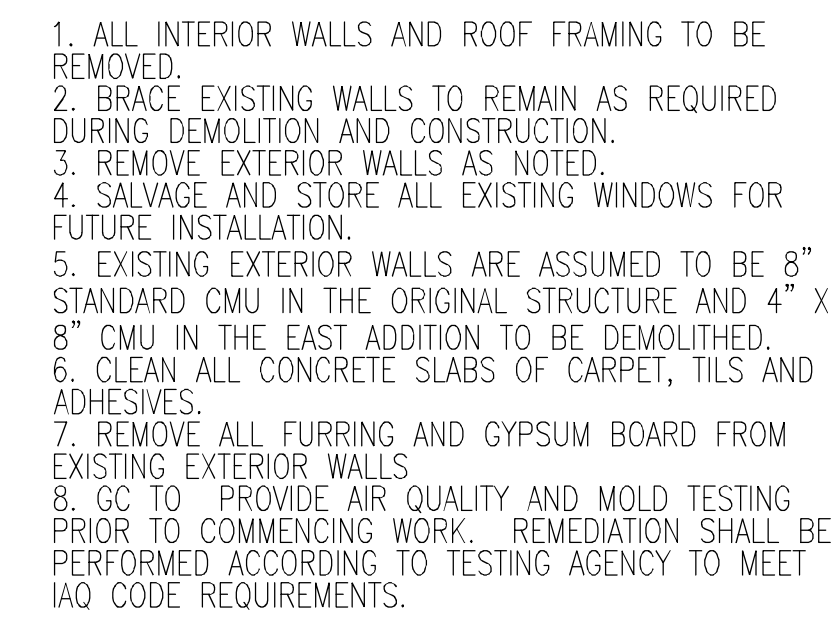




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[illegible]

# A1.0



SCALE: 1/8" = 1'-0"

**JOE**ARCHITECT

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200 EAST HILLCREST  
STREET, SUITE 200  
ORLANDO, FLORIDA 32803  
407-234-3695

ARCHITECT OF RECORD

A 26002407      AR 95341

OBJECT NAME

MAGNOLIA  
DENTAL CENTER

11 NORTH MAGNOLIA  
ORLANDO, FLORIDA

OBJECT NUMBER

013-0023

OWNER/DEVELOPER NAME

**IAZAK  
HOLDINGS LLC**  
15 STATE ROAD 436  
SUITE 1010  
CASSELBERRY, FLORIDA

## OBJECT TEAM

[illegible]

AWING NAME:

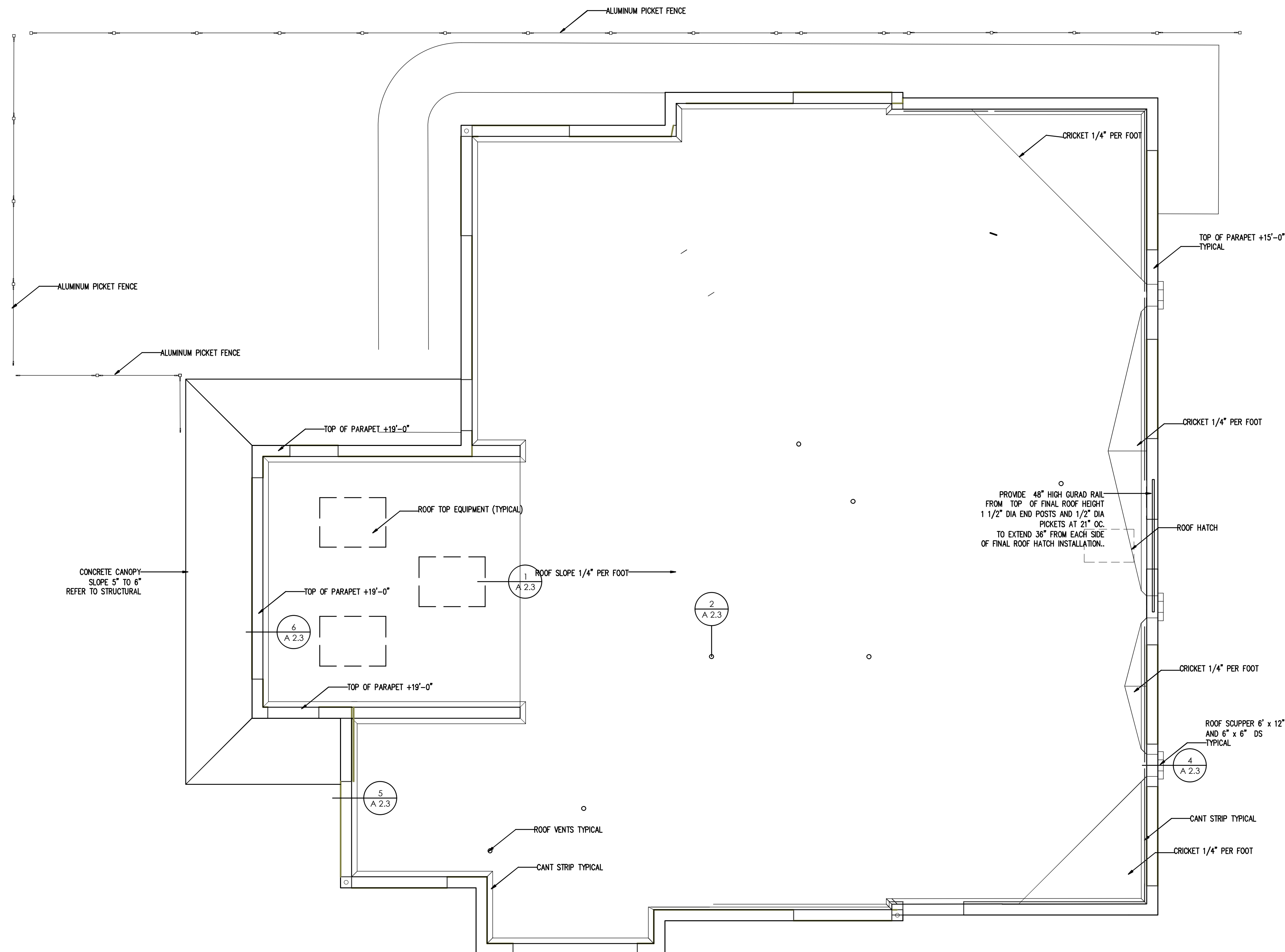
NEW ROOF PLAN

SALE:

$$1/4" = 1'-0"$$


AWING NUMBER:

## A2.2



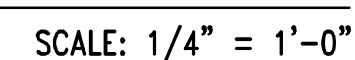
ROOFING NOTES:

1. SEE DRAWING A2.3 FOR STANDARD ROOF DETAILS
2. PROVIDE SOPREMA MECHANICALLY FASTENED MBR SYSTEM OVER 4" RIGID INSULATION. R-40 MINIMUM.
3. PROVIDE STANDARD SERIES S-50 BILCO ROOF HATCH WITH LADDER; ALUMINUM WITH TELESCOPING ACCESS POLE.
- 4.FLORIDA APPROVAL #.FL 3915-R13



ROOF PLAN  
SCALE: 1/8" = 1'-0"









AA 26002407      AR 95341

**MAGNOLIA  
DENTAL CENTER**

013-0023

**NAZAK HOLDINGS LLC**  
15 STATE ROAD 436  
SUITE 1010  
CASSELBERRY, FLORIDA

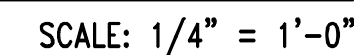
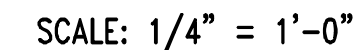
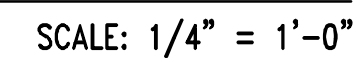
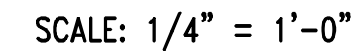
2

[illegible]

## EXISTING EXTERIOR ELEVATIONS

$1/4" = 1'-0"$

## A7.0









CONCEPT ARCHITECT

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ARCHITECT OF RECORD

AA 26002407 AR 95341

PROJECT NAME

MAGNOLIA  
DENTAL CENTER

611 NORTH MAGNOLIA  
ORLANDO, FLORIDA

PROJECT NUMBER

2013-0023

OWNER/DEVELOPER NAME

NAZAK  
HOLDINGS LLC  
515 STATE ROAD 436  
SUITE 1010  
CASSELBERRY, FLORIDA

PROJECT TEAM

Issue

No.	Date	Description
1	12-26-13	ZONING VARIANCE APPLICATION
2	5-26-14	BUILDING PERMIT APPLICATION
3	8-26-14	PERMIT COMMENTS OWNER REVISIONS
4	12-11-14	RFI - 10 OWNER REVISIONS
5	5-11-15	OWNER REVISIONS
6	6-3-15	FACADE PROGRAM AND ARB MINORREVIEW

DRAWING NAME:

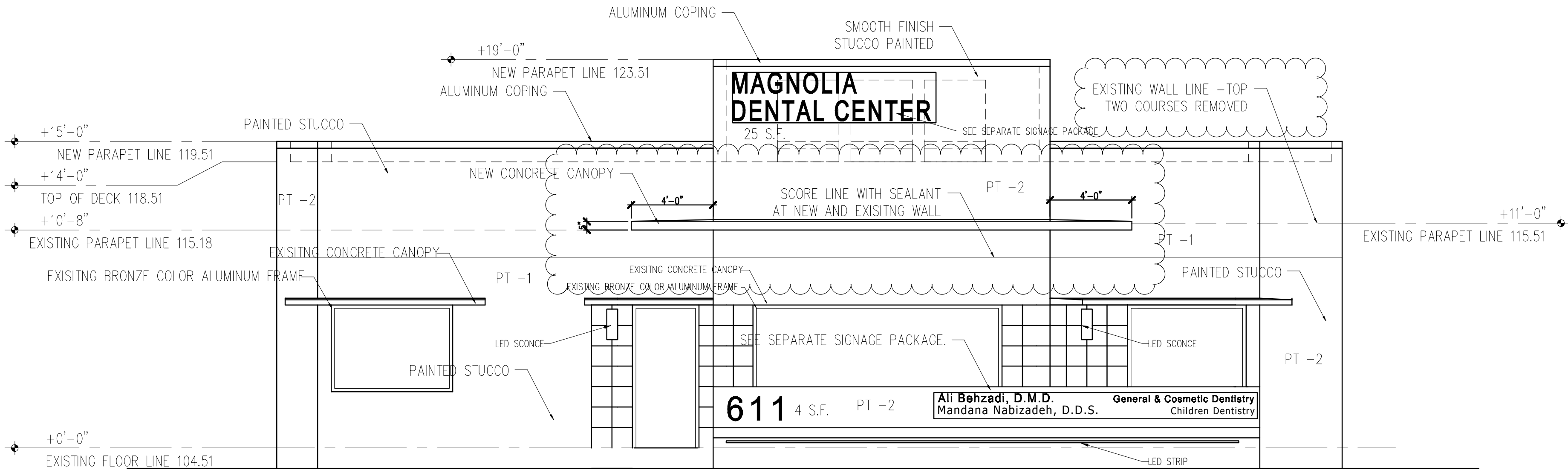
NEW  
EXTERIOR  
ELEVATIONS

SCALE:

1/4" = 1'-0"

DRAWING NUMBER:

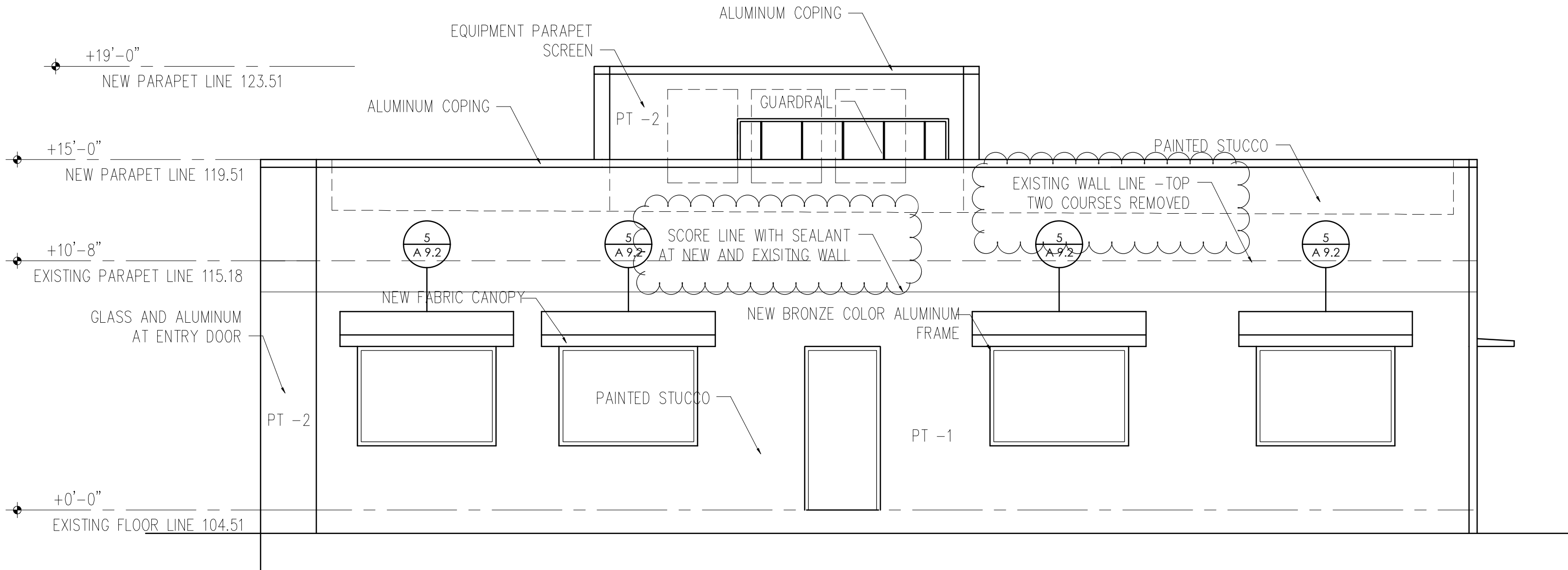
A9.2



WEST ELEVATION

SCALE: 1/4" = 1'-0"

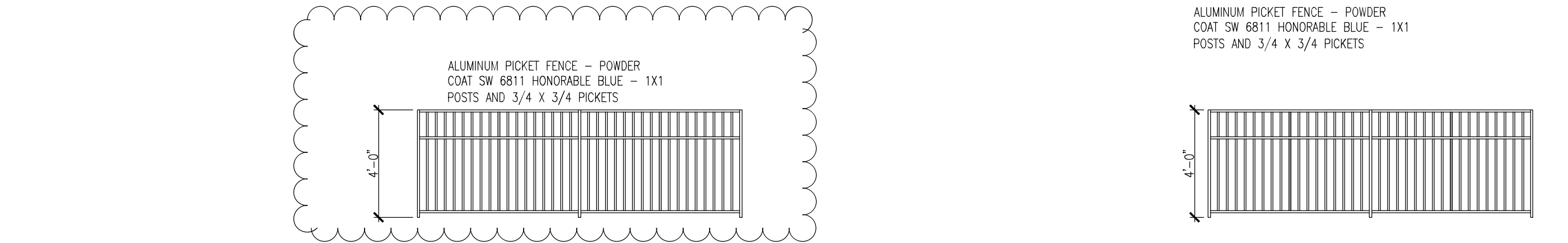
1  
A9.2



EAST ELEVATION

SCALE: 1/4" = 1'-0"

2  
A9.2



NORTH FENCE

SCALE: 1/4" = 1'-0"

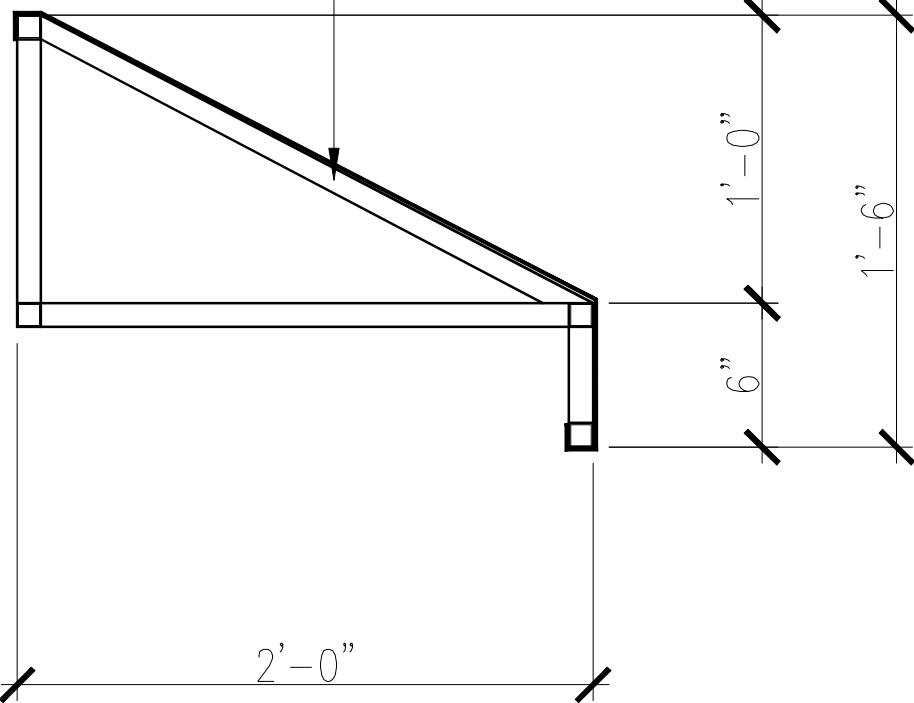
3  
A9.2

WEST FENCE

SCALE: 1/4" = 1'-0"

NOTE: SEE SEPARATE FENCE PACKAGE

NOTE: VERIFY FINAL FRAME SIZE, FABRIC AND ANCHORING TO BUILDING BY CANOPY MANUFACTURER TO MEET CODE REQUIREMENTS. SUBMIT FABRIC AND FRAME COLOR SAMPLES FOR OWNERS REVIEW. REF: SUNDANCE ARCH. PRODUCTS FABRIC MATERIAL OVER 1X1 ALUMINUM FRAMING



CANOPY DETAIL

SCALE: 1 1/2" = 1'-0"

5  
A9.2





SOUTHWEST VIEW

---

SCALE: N/A



WEST VIEW  
SCALE: N/A



SOUTH WEST VIEW  
SCALE: N/A



NORTH VIEW

---

SCALE: N/A



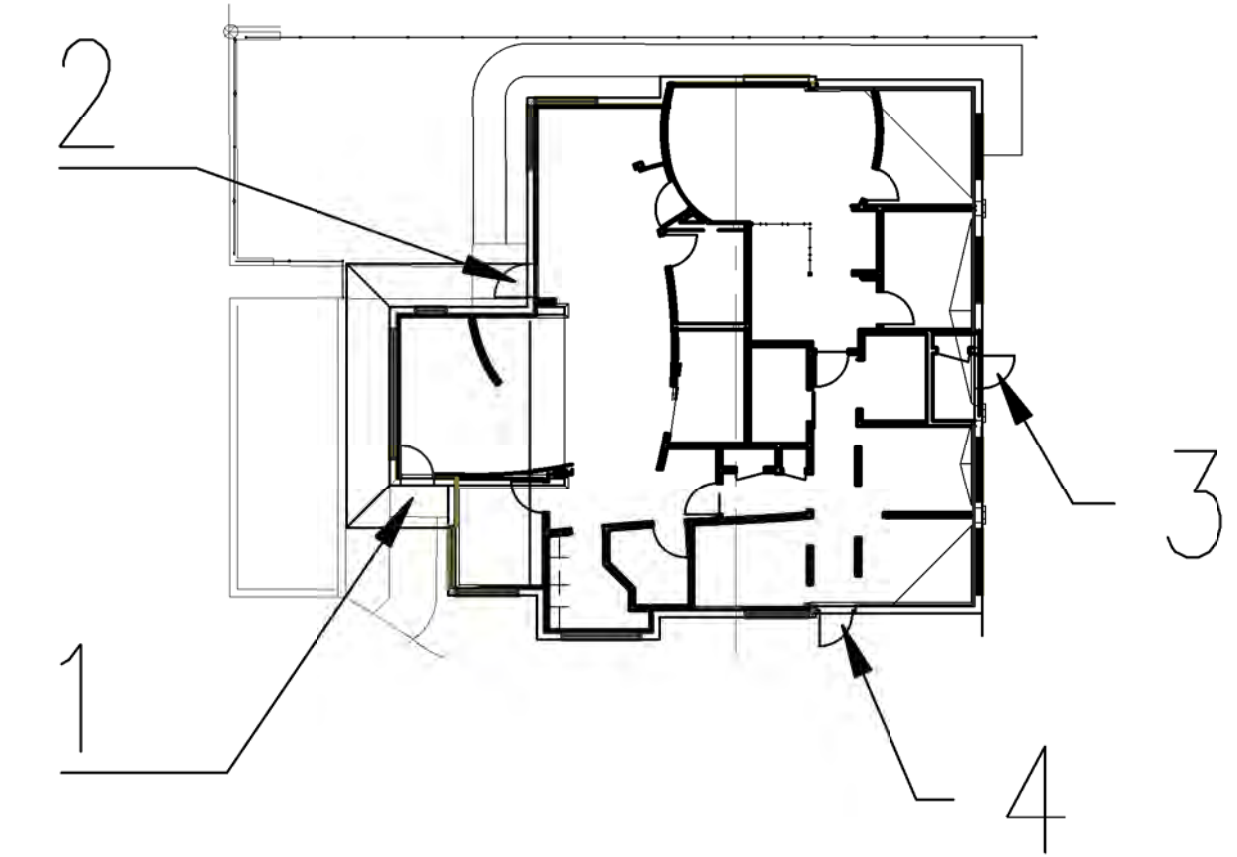
NORTHWEST VIEW  
SCALE: N/A



SOUTH VIEW

---

SCALE: N/A



KEY PLAN

SCALE: N/A



NORTH EAST VIEW

SCALE: N/A



SOUTH VIEW

---

SCALE: N/A



SOUTH EAST VIEW  
SCALE: N/A

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## PROJECT TEAM

[illegible]

DRAWING NAME:

EXISTING  
PHOTOS


SCALE:

N/A

DRAWING NUMBER:

# A10





NORTHWEST VIEW

SCALE: N/A



2  
A10.1

WEST VIEW

SCALE: N/A

## STUCCO PAINT COLORS

COLOR 1: LIGHT FIELD -  
SW 7637 - OYSTER WHITE

COLOR 2: ACCENT -  
SW 6118 - LEATHER BOUND

COLOR 3: AWNING –  
SW 6069 – FRENCH ROAST



2  
A10.1

SOUTHWEST VIEW – CONCRETE CANOPY

SCALE: N/A

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PROJECT TEAM

[illegible]

DRAWING NAME:

## NEW EXTERIOR RENDERINGS

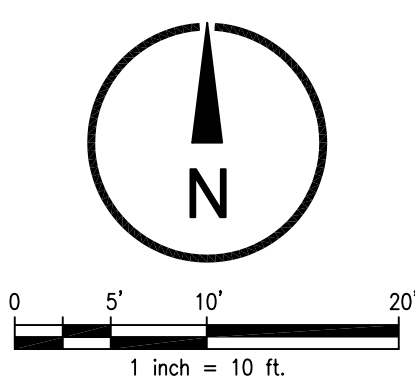
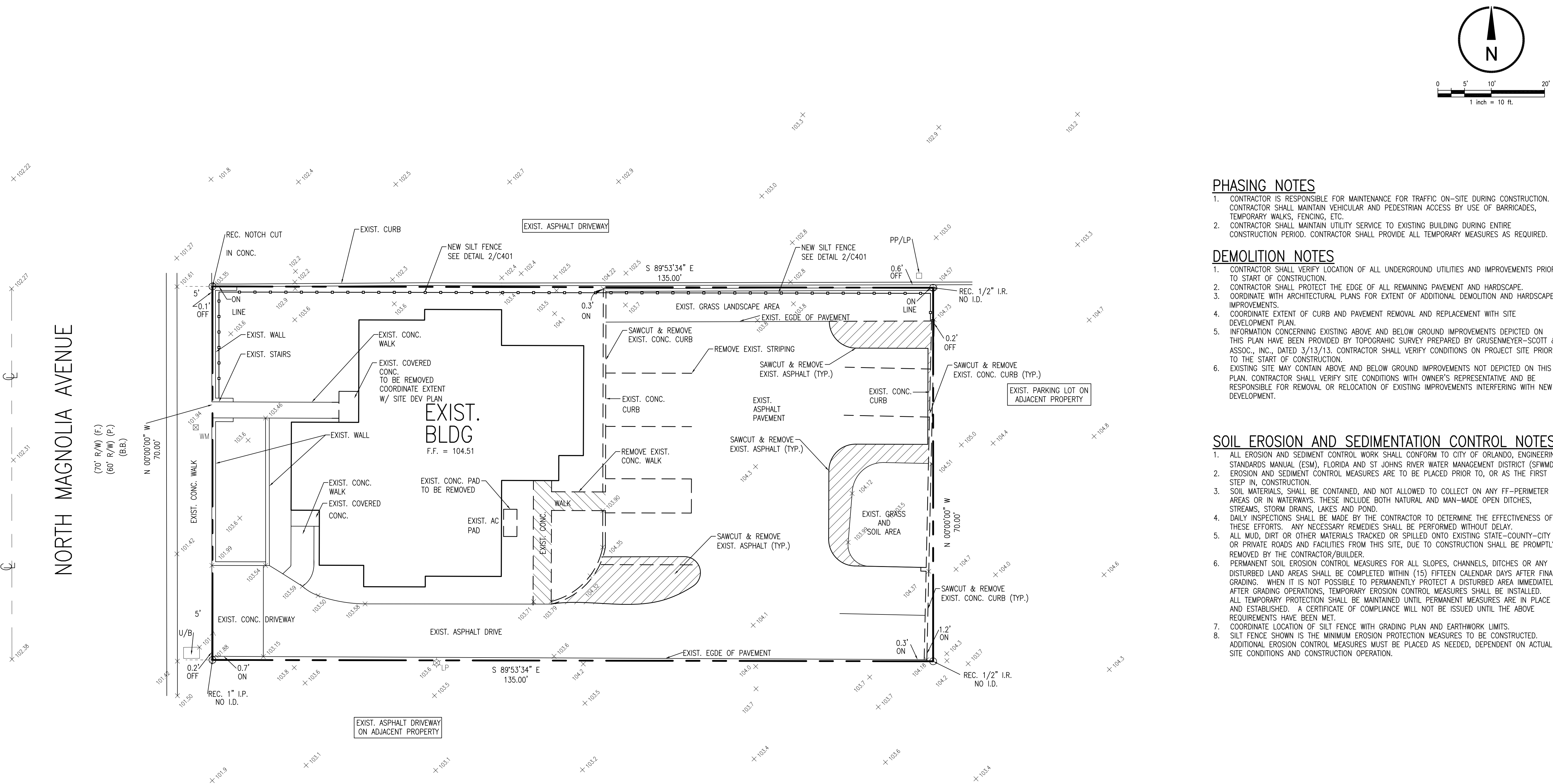
SCALE:

N/A

DRAWING NUMBER:

## A10.1





- PHASING NOTES**
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE FOR TRAFFIC ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS BY USE OF BARRICADES, TEMPORARY WALKS, FENCING, ETC.
  - CONTRACTOR SHALL MAINTAIN UTILITY SERVICE TO EXISTING BUILDING DURING ENTIRE CONSTRUCTION PERIOD. CONTRACTOR SHALL PROVIDE ALL TEMPORARY MEASURES AS REQUIRED.

- DEMOLITION NOTES**
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND IMPROVEMENTS PRIOR TO START OF CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT THE EDGE OF ALL REMAINING PAVEMENT AND HARDSCAPE.
  - COORDINATE WITH ARCHITECTURAL PLANS FOR EXTENT OF ADDITIONAL DEMOLITION AND HARDSCAPE IMPROVEMENTS.
  - COORDINATE EXTENT OF CURB AND PAVEMENT REMOVAL AND REPLACEMENT WITH SITE DEVELOPMENT PLAN.
  - INFORMATION CONCERNING EXISTING ABOVE AND BELOW GROUND IMPROVEMENTS DEPICTED ON THIS PLAN HAVE BEEN PROVIDED BY TOPOGRAPHIC SURVEY PREPARED BY GRUSENMEYER-SCOTT & ASSOC., INC., DATED 3/13/13. CONTRACTOR SHALL VERIFY CONDITIONS ON PROJECT SITE PRIOR TO THE START OF CONSTRUCTION.
  - EXISTING SITE MAY CONTAIN ABOVE AND BELOW GROUND IMPROVEMENTS NOT DEPICTED ON THIS PLAN. CONTRACTOR SHALL VERIFY SITE CONDITIONS WITH OWNER'S REPRESENTATIVE AND BE RESPONSIBLE FOR REMOVAL OR RELOCATION OF EXISTING IMPROVEMENTS INTERFERING WITH NEW DEVELOPMENT.

- SOIL EROSION AND SEDIMENTATION CONTROL NOTES**
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO CITY OF ORLANDO, ENGINEERING STANDARDS MANUAL (ESM), FLORIDA AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SFWMD) EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION.
  - SOIL MATERIALS SHALL BE CONTAINED, AND NOT ALLOWED TO COLLECT ON ANY FF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND POND.
  - DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF THESE EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
  - ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING STATE-COUNTY-CITY OR PRIVATE ROADS AND FACILITIES FROM THIS SITE, DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR/BUILDER.
  - PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN (15) FIFTEEN CALENDAR DAYS AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED. A CERTIFICATE OF COMPLIANCE WILL NOT BE ISSUED UNTIL THE ABOVE REQUIREMENTS HAVE BEEN MET.
  - COORDINATE LOCATION OF SILT FENCE WITH GRADING PLAN AND EARTHWORK LIMITS.
  - SILT FENCE SHOWN IS THE MINIMUM EROSION PROTECTION MEASURES TO BE CONSTRUCTED. ADDITIONAL EROSION CONTROL MEASURES MUST BE PLACED AS NEEDED, DEPENDENT ON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATION.

**OVERALL EXISTING SITE PLAN**

SCALE: 1" = 10'

**EXIST. SITE DATA**

TOTAL SITE AREA	= 9,450 S.F. = 0.217 AC.
EXISTING ZONING	= O-3/T
EXISTING LAND USE	= VACANT OFFICE (1,985 S.F.)
F.A.R. REQUIREMENT	= 0.40 MINIMUM, 1.0 MAXIMUM
MIN. LOT AREA REQUIREMENT	= 7,500 S.F. (9,450 S.F. EXIST.)
MIN. LOT WIDTH REQUIREMENT	= 75' (70' EXIST.)
PRINCIPAL BLDG SETBACK REQUIREMENT	
FRONT (MAGNOLIA AVENUE)	= 0' MINIMUM, 10' MAXIMUM (14.7' EXIST.)
SIDE (NORTH/SOUTH)	= 0' OR 3' MINIMUM, 25' MAXIMUM (NORTH 4.2', SOUTH 13.7' EXIST.)
REAR (EAST)	= 20' MINIMUM (65.5' EXIST.)
MAXIMUM ISR	= 0.90 (0.71 EXIST.)
MAXIMUM BUILDING HEIGHT	= 75'
EXIST. BLDG	= 1,985 S.F.
EXIST. PAVEMENT	= 4,706 S.F.
EXIST. IMPERVIOUS AREA	= 6,691 S.F. = 0.154 AC. = 70.8%
EXIST. PERVIOUS AREA	= 2,759 S.F. = 0.063 AC. = 29.2%

**LEGEND**

	EXIST.	TO BE REMOVED
ASPHALT PAVEMENT		
CONCRETE WALK		
CONCRETE CURB		
SIGN		
CHAIN LINK FENCE		
WATER LINE		
SANITARY SEWER LINE		
STORM DRAIN LINE		
POWER POLE		
LIGHT POLE		
FIRE HYDRANT		
SANITARY SEWER MANHOLE		
STORM DRAIN INLET		

**DEMOLITION SITE PLAN**

**MAGNOLIA DENTAL CENTER**

ORLANDO, FL

90% REVIEW SET 03-12-14  
PERMIT SET 3-24-14

Issue Date and Purpose	1352
Project Number:	C001
Drawn by: D. FORSYTH	
Checked: M. KALAGHCHI	
File No: 0857/0857	

Seal: Majid Kalaghchi P.E. 41046

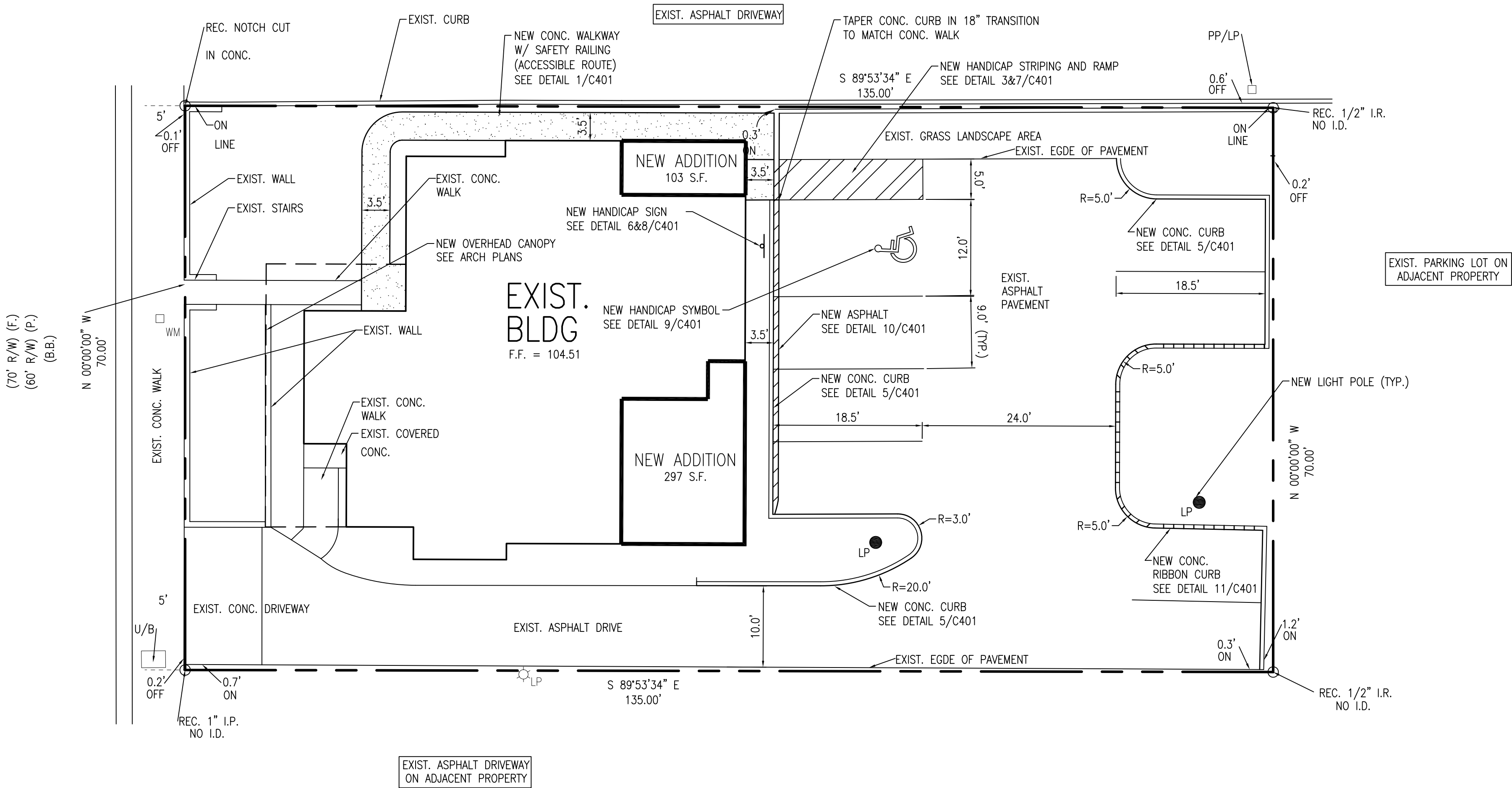
ENGINEERING  
PLANNING  
DESIGN  
URBAN

**SKConsortium, Inc.**

1053 N. ORLANDO AVE. SUITE 3 • MAITLAND • FLORIDA 32751  
TELEPHONE 407-629-4288 • FACSIMILE 407-629-1656 • EB# 7080

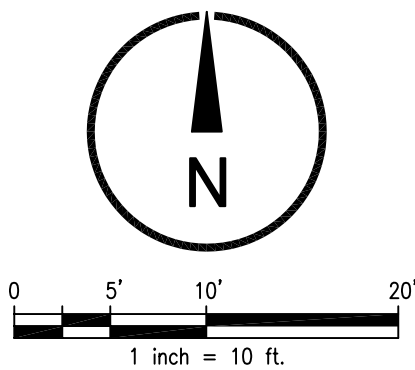


NORTH MAGNOLIA AVENUE



## SITE DEVELOPMENT PLAN

SCALE: 1" = 10'



## EXIST. SITE DATA

TOTAL SITE AREA	= 9,450 S.F. = 0.217 AC.
EXISTING ZONING	= O-3/T
PRINCIPAL BLDG SETBACK REQUIREMENT	
FRONT (MAGNOLIA AVENUE)	= 0' MINIMUM, 10' MAXIMUM (14.7' EXIST.)
SIDE (NORTH/SOUTH)	= 0' OR 3' MINIMUM, 25' MAXIMUM (NORTH 4.2', SOUTH 13.7' EXIST.)
REAR (EAST)	= 20' MINIMUM (65.5' EXIST.)
EXIST. BLDG	= 1,985 S.F.
EXIST. PAVEMENT	= 4,706 S.F.
EXIST. IMPERVIOUS AREA	= 6,691 S.F. = 0.154 AC. = 70.8%
EXIST. PERVIOUS AREA	= 2,759 S.F. = 0.063 AC. = 29.2%

## NEW SITE DATA

RENOVATION OF EXISTING BUILDING FOR DENTAL OFFICE	
EXISTING BLDG	= 1,985 S.F.
NEW ADDITION	= 400 S.F.
TOTAL PROPOSED BLDG	= 2,385 S.F.
F.A.R.	= 0.25
EXISTING PAVEMENT	= 4,706 S.F.
PAVEMENT REMOVED	= 551 S.F.
PAVEMENT ADDED	= 278 S.F.
TOTAL IMPERVIOUS AREA	= 6,818 S.F. = 0.157 = 72.4%*
TOTAL PERVIOUS AREA	= 2,632 S.F. = 0.06 = 27.6%

\*273 S.F. OF PAVEMENT HAS BEEN REMOVED AND 400 S.F. OF BLDG HAS BEEN ADDED  
\*NET INCREASE IN IMPERVIOUS AREA IS 127 SF

## PARKING CALCULATION

PARKING REQUIREMENT (DENTAL OFFICE): MIN = 2.8/1000, MAX = 4/1000  
PARKING REQUIRED = 7 SPACES  
PARKING PROVIDED = 8 SPACES (7 REGULAR + 1 DISABLED SPACES)

## GENERAL NOTES

- TRAFFIC MARKINGS NOTES:
  - ALL DRIVEWAYS EXITING ONTO ANY PUBLIC OR PRIVATE STREET MUST HAVE A TRAFFIC CONTROL DEVICE (30" STOP SIGN MOUNTED 7' ABOVE THE PEDESTRIAN VEHICLE TRAVEL WAY (MEASURED FROM BOTTOM OF SIGN) AND THROUGHOUT THE SITE AS NECESSARY FOR SAFETY.
  - ALL SIGN INSTALLATIONS SHALL COMPLY WITH SIZE, LOCATION AND HEIGHT (7') AS OUTLINED IN THE "MUTCD."
  - PAVEMENT MARKINGS - GENERAL PRINCIPLES (SECTION 3A-5):
    - PARKING LOT PAVEMENT MARKINGS SHALL BE WHITE PAINTED (DIRECTIONAL ARROWS, STOP BARS, LINES DESIGNATING PARKING SPACES AND HANDICAPPED PARKING SYMBOLS).
  - ALL HANDICAPPED PARKING SPACES MUST BE LEGALLY SIGNED WITH ONE REGULATION HANDICAP SIGN AND ONE WHITE PAVEMENT MARKING SYMBOL PER SPACE.
  - A 24" STOP BAR SHALL BE PROVIDED AT ALL POINTS OF EGRESS IN CONFORMANCE WITH FDOT #17346, DRAWING #3 OF 8.
- HANDICAP RAMPS SHALL COMPLY WITH FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX NO. 0304, AND CITY OF ORLANDO REQUIREMENTS WITH TRUNKATED DOME MATS.

## GEOMETRY NOTES

- ALL SURVEY DATA USED AND CONDITIONS ASSUMED TO BE PRESENT IN PREPARATION OF THESE PLANS WAS PROVIDED BY GRUSEMEYER-SCOTT & ASSOC., INC.
- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL VERTICAL AND HORIZONTAL CONTROL POINTS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES SHOULD BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SURVEYOR OF THE CONDITION IN WRITING PRIOR TO COMMENCING HIS CONSTRUCTION ACTIVITIES.
- ALL PAVEMENT OFFSETS, RADII AND DIMENSIONS SHOWN ARE TO PROPOSED EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS.

## LEGEND

	EXIST.	NEW
ASPHALT PAVEMENT		
CONCRETE WALK		
CONCRETE CURB		
POWER POLE		

Seal: Majid Kalaghchi P.E. 41046

SITE DEVELOPMENT PLAN

MAGNOLIA DENTAL CENTER

ORLANDO, FL

90% REVIEW SET 03-12-14  
PERMIT SET 3-24-14

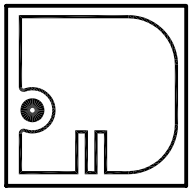
Issue Date and Purpose

Project Number: 1352

Drawn by: D. FORSYTH  
Checked: M. KALAGHCHI  
File No: 0857/0857

C101

URBAN DESIGN PLANNING ENGINEERING



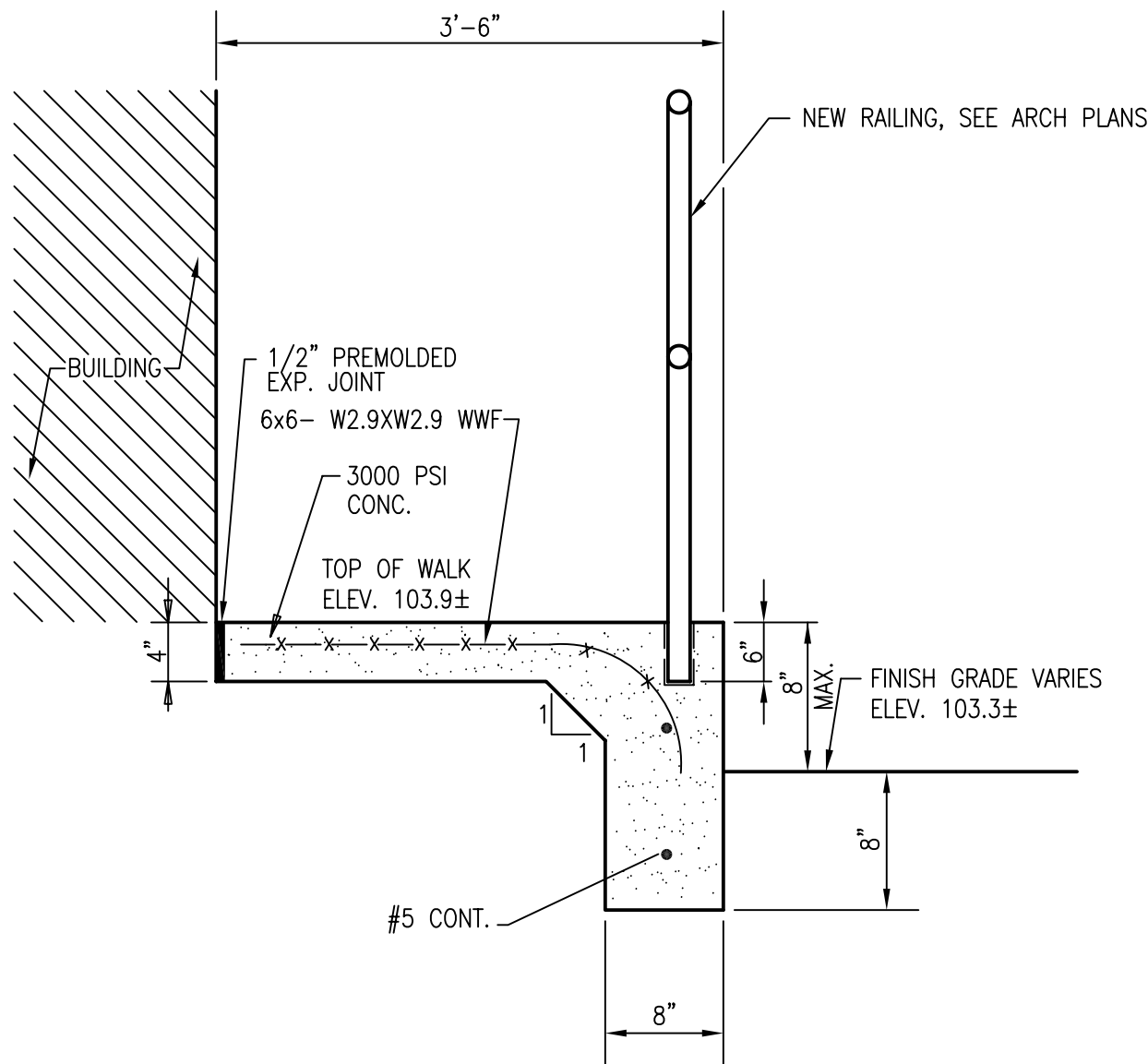
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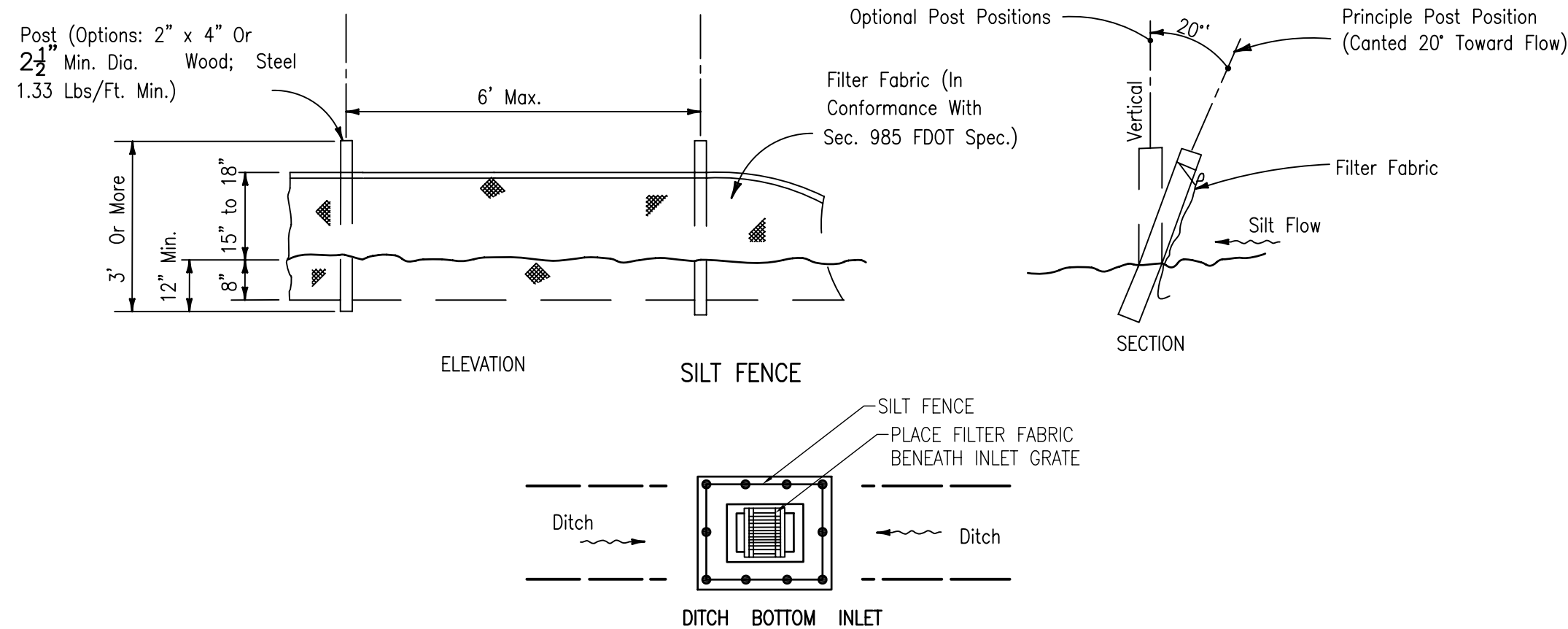




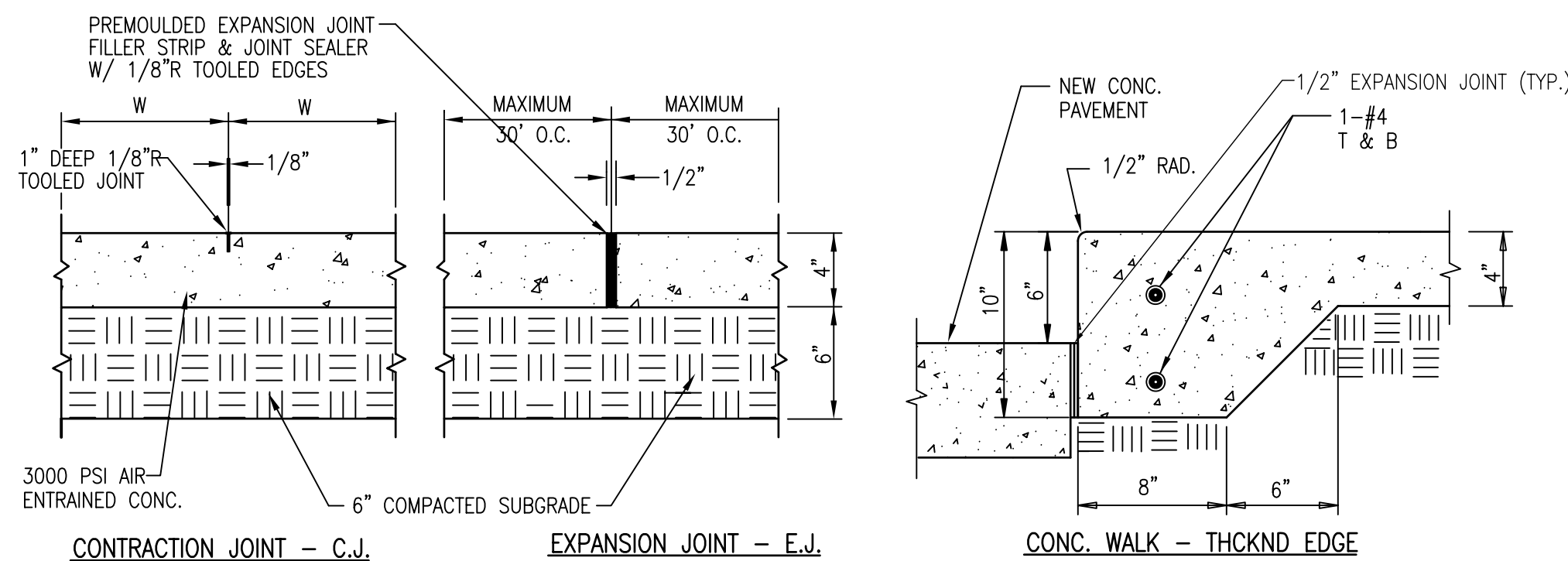




1 SECTION AT WALK  
C401 3/4"=1'-0"

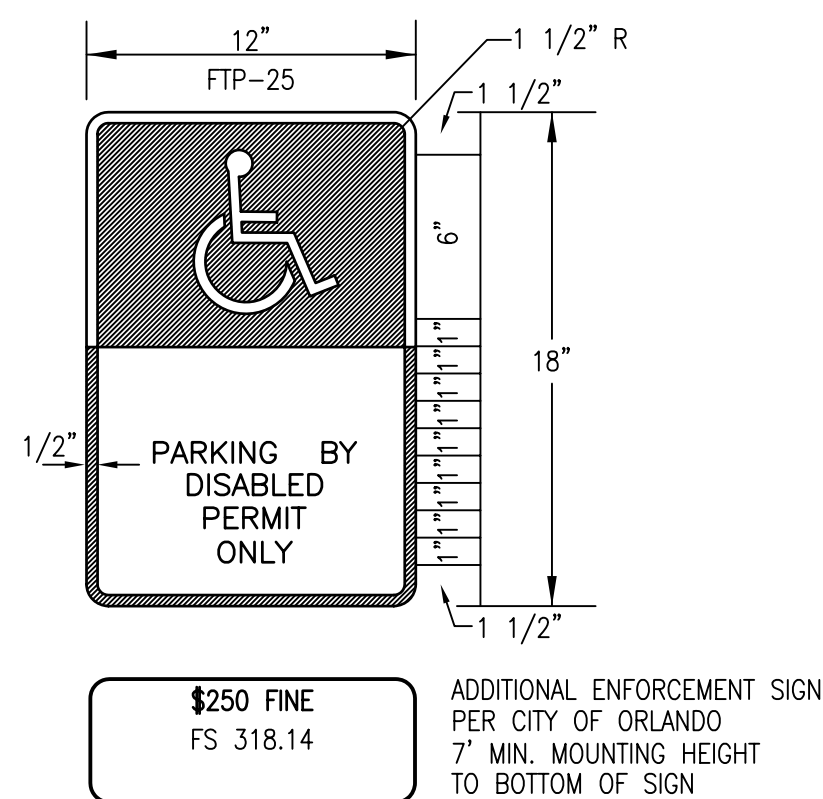


2 EROSION CONTROL DETAILS  
C401 NTS

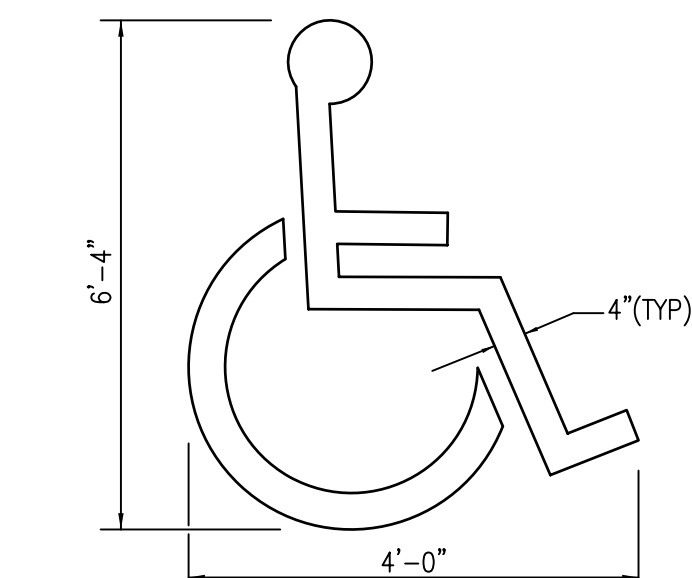


- NOTES: 1. A THICKENED EDGE SHALL BE PROVIDED BETWEEN SIDEWALK AND DRIVEWAYS OR PARKING LOT.  
2. SLOPE CONC. SIDEWALKS AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE.  
3. THE CROSS SLOPE OF THE SIDEWALK SHALL NOT EXCEED 2%.
4. PROVIDE CONTROL JOINTS @ INTERVALS EQUAL TO SIDEWALK WIDTH (W).  
5. PROVIDE PREMOULDED EXPANSION JOINT WHERE CONC. WALK ABUTS BLDG., POLES, AND OTHER CONC. WALKS.

4 CONC. SIDEWALK DETAIL  
C401 NOT TO SCALE

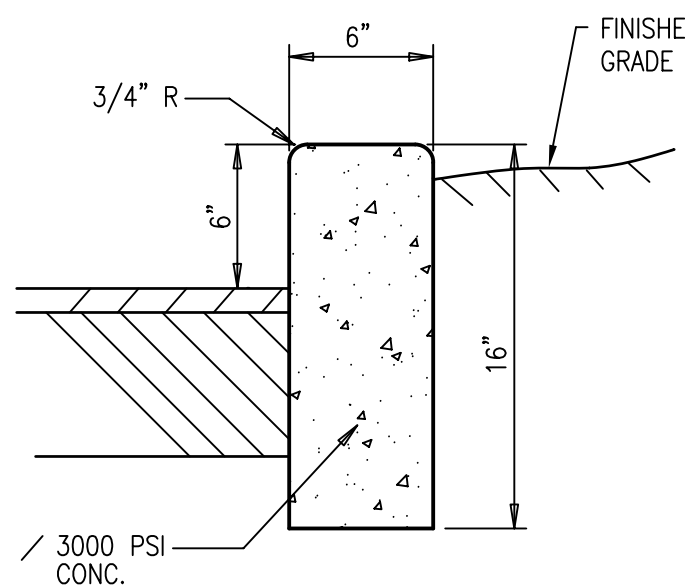


8 HANDICAP SIGN DETAIL  
C401 NOT TO SCALE



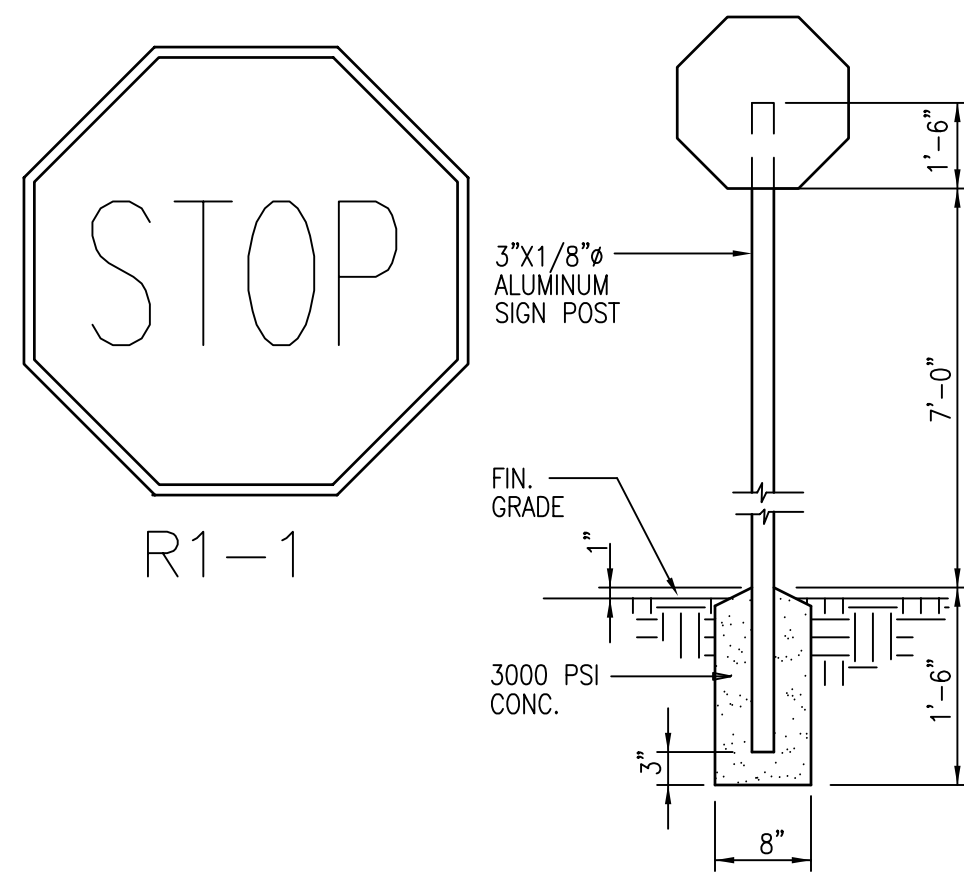
NOTE:  
THIS SYMBOL TO BE WHITE D.O.T. PAINT

9 HANDICAP PARKING SYMBOL DETAIL  
C401 NOT TO SCALE

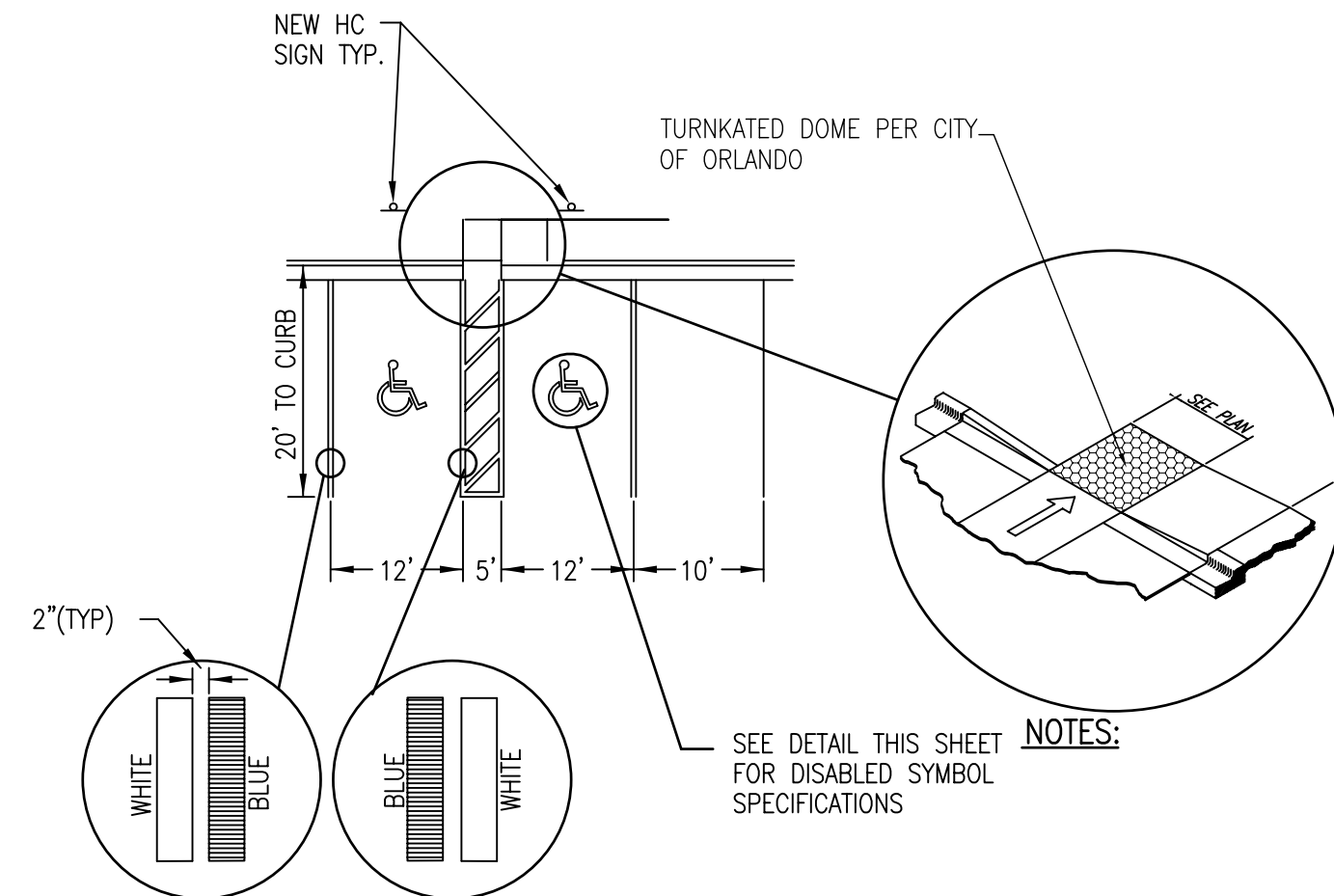


- NOTE:  
1. PROVIDE 1/8" CONTROL JOINTS @ 10' O.C.  
2. PROVIDE 6" STABILIZED SUBGRADE BENEATH THE CURB.

5 CONC. CURB  
C401 1-1/2" = 1'-0"

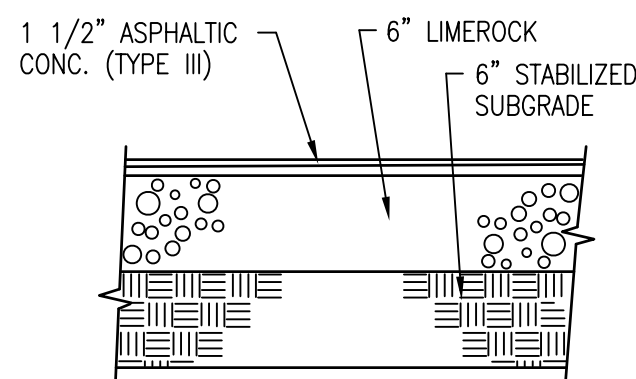


6 TYP. SIGN POST  
C401 3/4" = 1'-0"

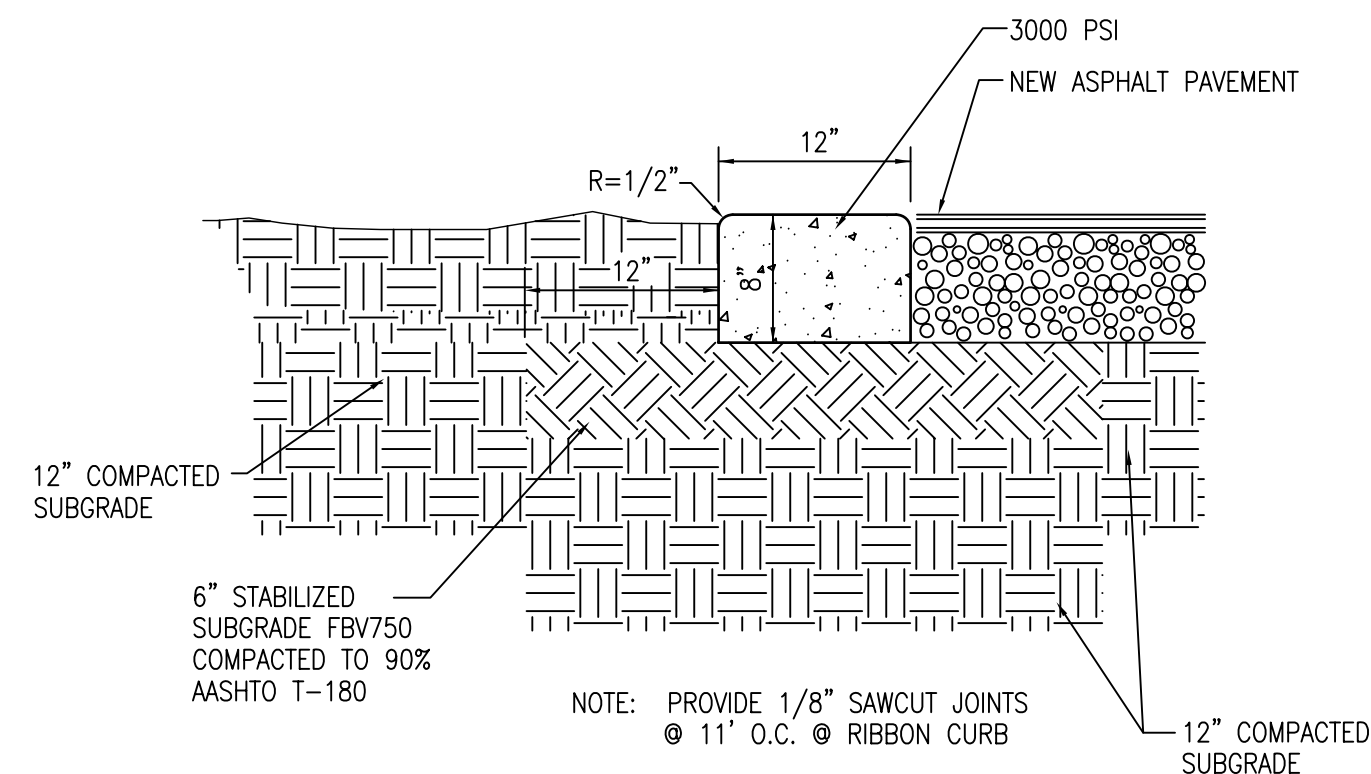


1. EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY," OR BEARING BOTH SUCH SYMBOL AND CAPTION. SUCH SIGNS SHALL NOT BE OBTSCURED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.
2. FL DOT RECOMMENDS MEASURING PARKING SPACE WIDTH FROM CENTER TO CENTER BETWEEN BLUE AND WHITE STRIPES.

7 HANDICAP STRIPING DETAIL  
C401 NOT TO SCALE



10 PARKING ASPHALT PAVEMENT  
C401 1" = 1'-0"



11 RIBBON CURB DETAIL  
C401 1"=1'-0"

Seal: Majid Kalaghchi P.E. 41046

DETAIL SHEET

MAGNOLIA DENTAL CENTER

ORLANDO, FL



**Site Data**  
Existing Zoning Classification: O-3/T- High Intensity Office- Residential  
Traditional City Boundary  
Site Area: .22 Acres

**Shade Coverage Requirements- Per Section 60.240D City of Orlando LDC**  
1.) O-3 / T Zoning: (20) Tree Points per Acre  
2.) 20 Tree Points X .22= 4.4 Tree Points Required  
3.) Minimum Number of Medium Trees Required: 4.4 Tree Points X 10%= .44 Tree Points (1 Tree)  
Minimum Number of Large Trees Required: 4.4 Tree Points X 10%= .44 Tree Points (1 Tree)  
Minimum Number of Small Trees Required: 4.4 Tree Points X 20%= .88 Tree Points (1 Tree)  
**Note: Native Palm & Pine Trees yield (1) tree point for every (3) Palm & Pine Trees retained over 10' height**  
4.) 2 Sabal Palms Retained: No Credit  
5.) **Provided: (1) Large Native Tree, (1) Medium Native Tree & (3) Native (Palm) Small Trees: See Plant Palette**

**Landscaping Adjacent to Property Line Requirements- Per Section 61.312 City of Orlando LDC**  
1.) 7.5' Wide Landscape Area Surrounding Vehicular Use Area  
2.) (1) Tree per 50 Linear Feet, Minimum Caliper 3" X 12' Ht., 6' Min. C.T., with a Cont. Row of Shrubs 18" Ht.  
3.) All Row-End Landscape Areas to be a Minimum Width of 10'-0"  
**\*Variance Required & Applied For Based on Property Line Proximity to Vehicular Use Areas**  
**\*Variance Required & Applied For Based on Row-End Landscape Area Deficiency Adjacent to North Property Line**

**Existing Tree Preservation / Removal / Mitigation**

Label	Description	Condition	Removed/Remain	Mitigation	Notes
Tree #1	Sabal Palm	Poor	Remove	N/A	Failing Palm, No Mitigation Req'd.
Tree #2	Laurel Oak	Poor	Remove	N/A	Tree Assessment Provided by Andy Kittsley on 12/18/13, No Mitigation Req'd.
Tree #3	Sabal Palm	Good	Remove	3:1	(3) Existing Sabal Palms=(1) Canopy Tree
Tree #4	Sabal Palm	Good	Remove	3:1	(3) Existing Sabal Palms=(1) Canopy Tree
Tree #5	Sabal Palm	Good	Remove	3:1	(3) Existing Sabal Palms=(1) Canopy Tree
Tree #6	Sabal Palm	Good	Remain	No	
Tree #7	Sabal Palm	Good	Remain	No	
Tree #8	Podocarpus- Street Tree	Good	Remain	No	
Tree #9	Acer Rubrum- Located Off-Site	Good	N/A	N/A	
Tree #10	Live Oak- Located Off-Site	Good	N/A	N/A	
Tree #11	Live Oak- Located Off-Site	Good	N/A	N/A	

**Bufferyard Requirements- Per Section 60.260 City of Orlando LDC**  
**\*No Bufferyards are Required- Subject Site Land Use Classification Complements Adjacent Land Use Classifications**

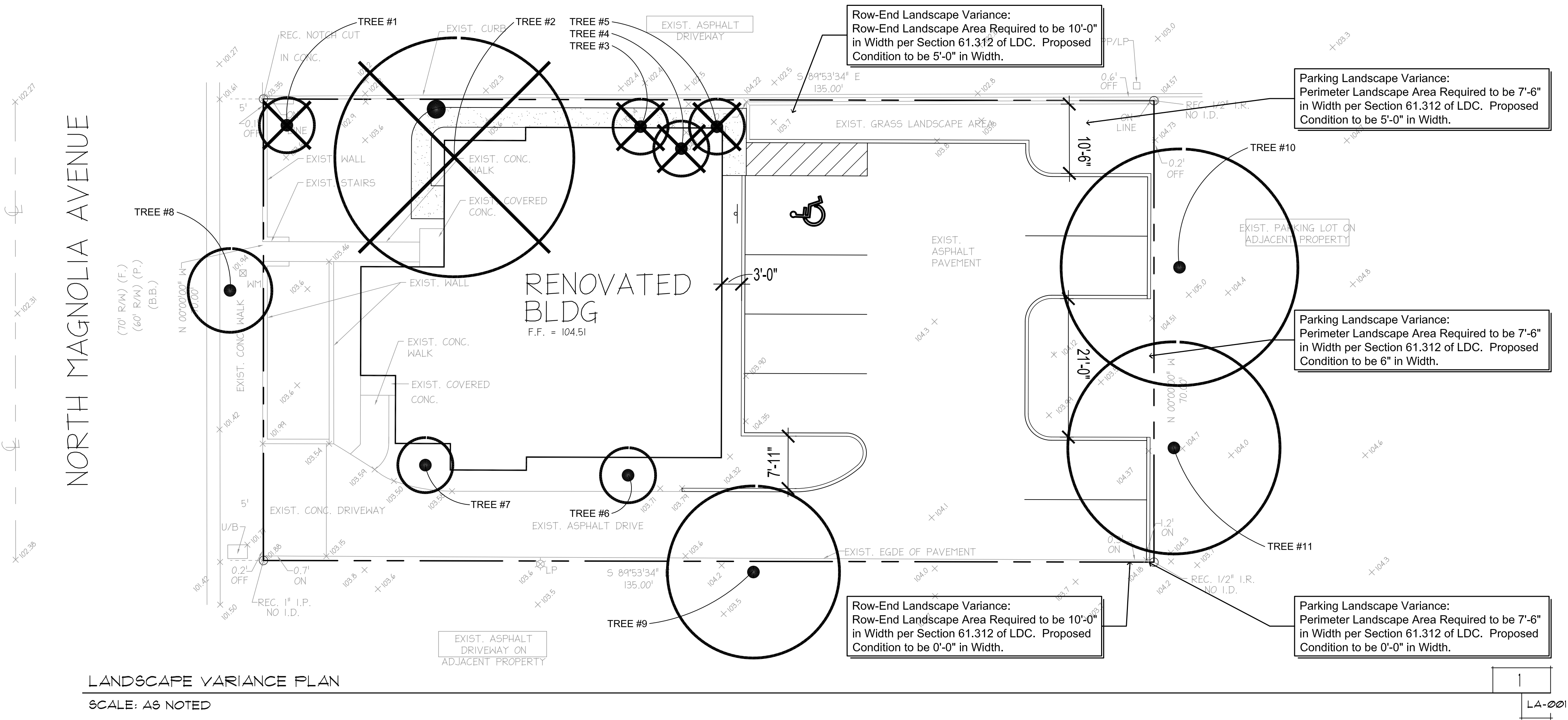
**General Landscape & Irrigation Requirements & Notes**  
1.) All landscape & irrigation provided shall comply with the City of Orlando LDC  
2.) Irrigation shall be installed & maintained per Section 60.232e of the City of Orlando LDC  
a.) All irrigated areas shall be designed & installed based on plant material requirements; hydro-zoning.  
b.) The irrigation system shall be a 100% automatic system.  
c.) The irrigation system shall be provided with water conserving technologies, s.a. rain sensor or moisture meter technology.  
d.) The irrigation system shall comply with all local, state & water management rules & regulations.  
e.) Turfgrass areas will be minimized & native plant materials will be specified in areas deemed applicable.  
3.) All shrub & groundcover areas shall receive a 3" layer of mulch, see planting plan for type.

SYMBOLS LEGEND

EXISTING TREE  
-SEE EXISTING TREE  
PRESERVATION/REMOVAL/  
MITIGATION CHART, THIS  
SHEET

EXISTING TREE TO BE  
REMOVED  
-SEE EXISTING TREE  
PRESERVATION/REMOVAL/  
MITIGATION CHART, THIS  
SHEET

- SHEET NOTES:**
- SEE CIVIL VARIANCE PLAN(S) FOR SITE CIVIL INFORMATION.
  - REFER TO VARIANCE JUSTIFICATION DOCUMENT FOR ADDITIONAL INFORMATION AND REQUIREMENTS.



LANDSCAPE VARIANCE PLAN  
SCALE: AS NOTED

NORTH

0' 5' 10' 20'

DR LANDSCAPE ARCHITECT

DANIEL A. ROGERS  
LANDSCAPE ARCHITECT

230 N. GLENWOOD AVE.  
ORLANDO, FLORIDA  
PH#: 407.353.0112

PROJECT NAME

MAGNOLIA DENTAL CENTER

611 N. MAGNOLIA AVENUE  
ORLANDO, FL 32801

SHEET NAME

LANDSCAPE VARIANCE PLAN

LANDSCAPE ARCHITECT  
DANIEL A. ROGERS, RLA  
6666866

DECEMBER 23, 2013

SCALE

1" = 10'-0"

DATE

DEC.23.2013

DRAWN

MJA

SHEET NUMBER

LA-001



Site Data

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Traditional City Boundary  
Site Area: .22 Acres

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- 1.) O-3 / T Zoning: (20) Tree Points per Acre  
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Note: Native Palm & Pine Trees yield (1) tree point for every (3) Palm & Pine Trees retained over 10' height

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Existing Tree Preservation / Removal / Mitigation

Label	Description	Condition	Removed/Remain	Mitigation	Notes
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Tree #2	Laural Oak	Poor	Remove	N/A	Tree Assessment Provided by Andy Kittsley on 12/18/13, No Mitigation Req'd.
Tree #3	Sabal Palm	Good	Remove	3:1	(3) Existing Sabal Palms=(1) Canopy Tree
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Tree #5	Sabal Palm	Good	Remove	3:1	(3) Existing Sabal Palms=(1) Canopy Tree
Tree #6	Sabal Palm	Good	Remain	No	
Tree #7	Sabal Palm	Good	Remain	No	
Tree #8	Podocarpus- Street Tree	Good	Remain	No	
Tree #9	Acer Rubrum- Located Off-Site	Good	N/A	N/A	
Tree #10	Live Oak- Located Off-Site	Good	N/A	N/A	
Tree #11	Live Oak- Located Off-Site	Good	N/A	N/A	

Bufferyard Requirements- Per Section 60.260 City of Orlando LDC

\*No Bufferyards are Required- Subject Site Land Use Classification Complements Adjacent Land Use Classifications

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3.) All shrub & groundcover areas shall receive a 3" layer of mulch, see planting plan for type.

SYMBOLS LEGEND



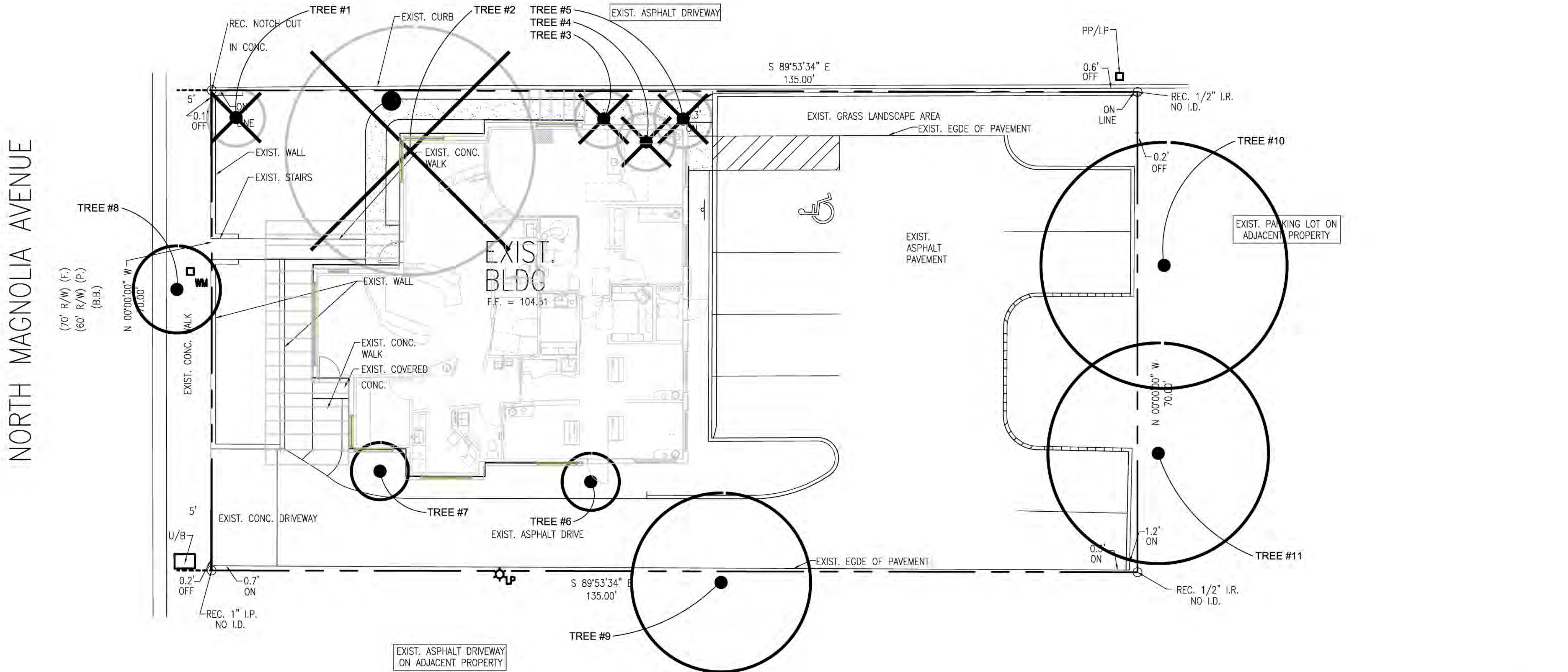
EXISTING TREE  
-SEE EXISTING TREE  
PRESERVATION/REMOVAL/  
MITIGATION CHART, THIS  
SHEET



EXISTING TREE TO BE  
REMOVED  
-SEE EXISTING TREE  
PRESERVATION/REMOVAL/  
MITIGATION CHART, THIS  
SHEET

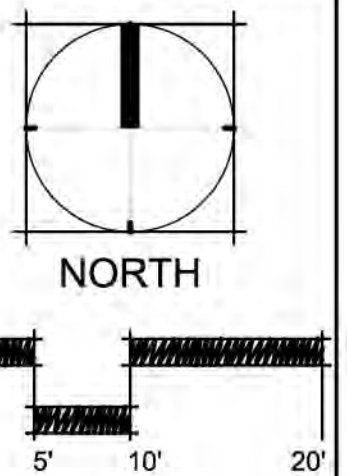
SHEET NOTES:

1. SEE CIVIL PLAN(S) FOR SITE CIVIL INFORMATION.  
2. REFER TO VARIANCE JUSTIFICATION DOCUMENT FOR  
ADDITIONAL INFORMATION AND REQUIREMENTS.



EXISTING TREE PLAN

SCALE: AS NOTED



SCALE

ISSUES

NO. DESCRIPTION DATE



DANIEL A. ROGERS  
LANDSCAPE ARCHITECT

230 N. GLENWOOD AVE.  
ORLANDO, FLORIDA  
PH#: 407.353.0112

PROJECT NAME

MAGNOLIA DENTAL  
CENTER  
611 N. MAGNOLIA AVENUE  
ORLANDO, FL 32801

SHEET NAME

EXISTING TREE  
PLAN

SCALE

1" = 10'-0"

MARCH 24, 2014

DATE

MAR.18.2014

DRAWN

MJA

SHEET NUMBER

LA-100



A diagram showing a label with a plant symbol and a quantity. The label is a rounded rectangle divided into two sections. The left section contains the number '2' and the right section contains the plant symbol 'QVI'. A line points from the text 'PLANT SYMBOL' to the 'QVI' section, and another line points from the text 'PLANT QUANTITY' to the '2' section.

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE STANDARDS OF FLORIDA NO 1 AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS 1998," STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, AND ANY AMENDMENTS THERETO.
2. THE LANDSCAPE ARCHITECT MAY REJECT ANY PLANT MATERIAL BROUGHT TO THE SITE WHICH HE DEEMS TO BE OF INFERIOR QUALITY OR APPEARANCE.
3. ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM OF 3" DEPTH FINE BARK MULCH MINI-NUGGETS. MAINTAIN A 4" CLEAR SPACE BETWEEN MULCH AND THE PLANT STEM.
4. ALL TREES SHALL HAVE ALL SYNTHETIC BURLAP REMOVED FROM THE ENTIRE ROOT BALL. JUTE BURLAP SHALL BE REMOVED FROM THE TOP ONE-THIRD OF THE ROOT BALL. THE TOP THREE ROWS OF SQUARES ON ALL CAGES AROUND THE ROOT BALLS SHALL BE CLIPPED OFF AND REMOVED.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE SITE INCLUDING ALL MOWING, EDGING, TRIMMING, PRUNING & SPRAYING OF PESTICIDES & FUNGICIDES UNTIL THE TIME OF FINAL ACCEPTANCE BY THE OWNER.
6. ANY DAMAGE TO EXISTING HARDSCAPE/LANDSCAPE OUTSIDE THE LIMITS OF WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
7. ALL DEBRIS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN ACCEPTABLE MANNER.
8. A CERTIFIED ARBORIST SHALL BE USED FOR ANY PRUNING ASSOCIATED WITH EXISTING LIVE OAK TREES.

28/TRA  
1/ZFR

37/ZFL  
1/BNI

15/OJA  
18/STR

4/TAG  
14/OJA

20/POD  
74/LMG  
3/SAP

5/PSE  
39/LMG

1/SRE  
34/TRA  
50/LMG  
1/SRE

9/JCO  
25/PSE

48/JCO  
72/TRA

EXIST. BLDG  
F.F. = 104.51

CONCRETE WALK BY OTHERS  
-SEE CIVIL DWGS

OVERHEAD ARCH TRELLIS, SEE ARCH PLANS

RIVER PEA GRAVEL WALKWAY


PVIOUS STONE/GRAVEL PARKING ISLAND

EXISTING TREE  
-SEE LA-100

LA-200



PROJECT NAME	
MAGNOLIA DENTAL CENTER 611 N. MAGNOLIA AVENUE ORLANDO, FL 32801	
SHEET NAME	
LANDSCAPE PLAN & PLANT PALETTE	



LA-200



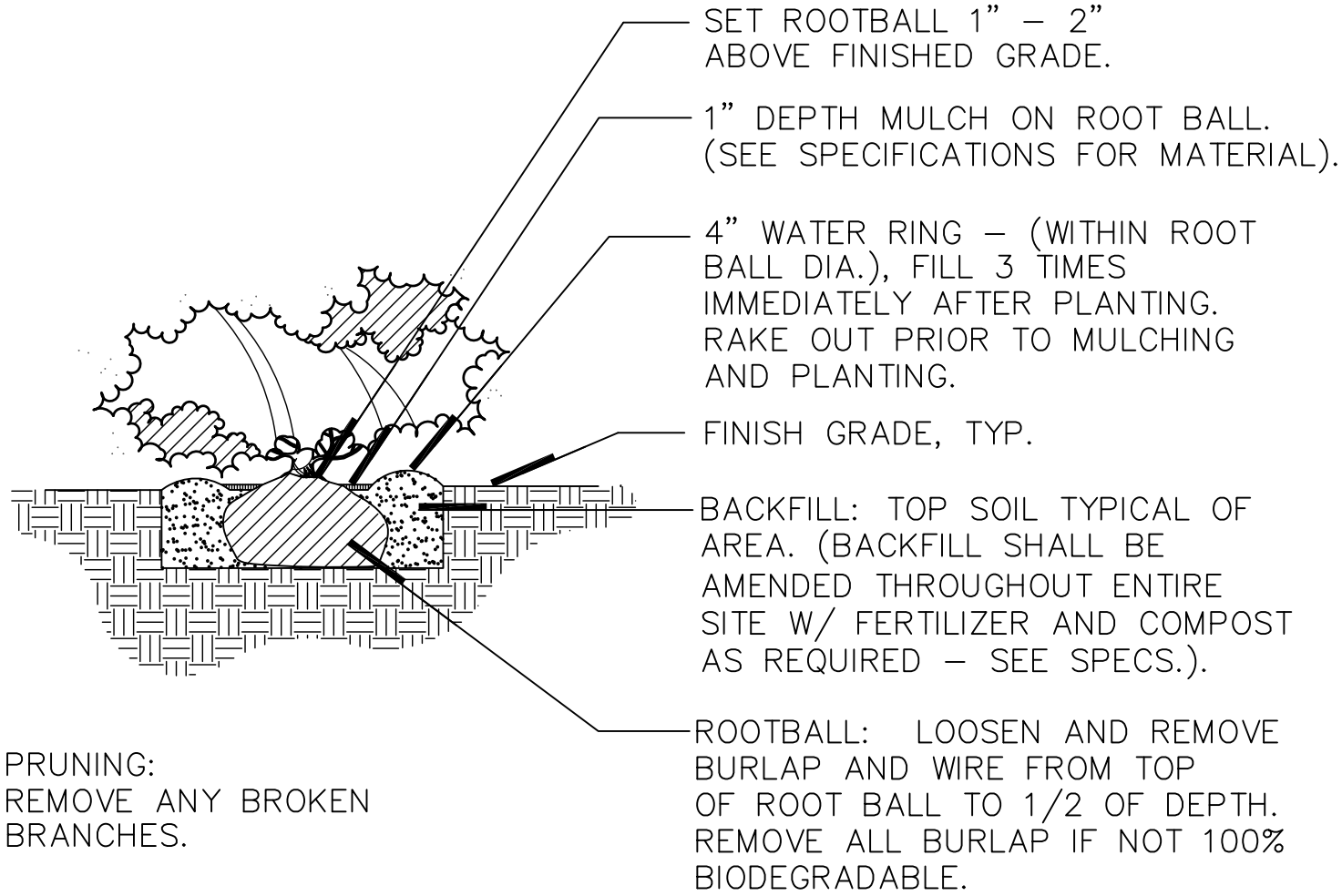
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SYMBOLS LEGEND

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SHEET NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING DIG PERMIT PRIOR TO ANY SITE CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE STANDARDS OF FLORIDA NO 1 AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS 1938," STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, AND ANY AMENDMENTS THERETO.
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5. ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM OF 3" DEPTH PINE BARK MULCH MINI-NUGGETS. MAINTAIN A 4" CLEAR SPACE BETWEEN MULCH AND THE PLANT STEM.
6. ALL TREES SHALL HAVE ALL SYNTHETIC BURLAP REMOVED FROM THE ENTIRE ROOT BALL. JUTE BURLAP SHALL BE REMOVED FROM THE TOP ONE-THIRD OF THE ROOT BALL. THE TOP THREE ROWS OF SQUARES ON ALL CAGES ABOVE THE ROOT BALLS SHALL BE CLIPPED OFF AND REMOVED.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE SITE INCLUDING ALL MOWING, EDGING, TRIMMING, PRUNING & SPRAYING OF PESTICIDES & FUNGICIDES UNTIL THE TIME OF FINAL ACCEPTANCE BY THE OWNER.
8. ANY DAMAGE TO EXISTING HARDSCAPE/LANDSCAPE OUTSIDE THE LIMITS OF WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
9. ALL DEBRIS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN ACCEPTABLE MANNER.
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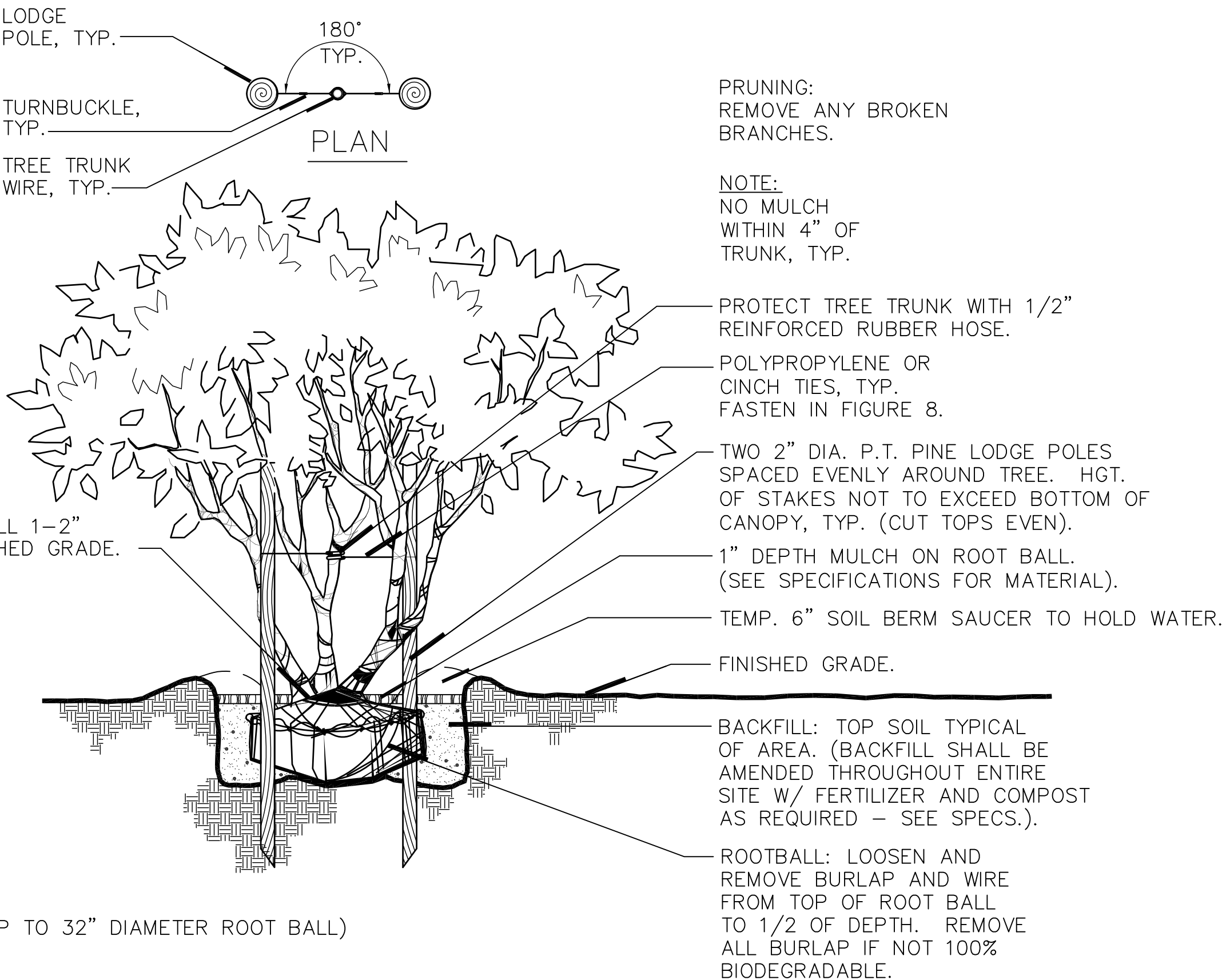


SHRUB PLANTING DETAIL

SCALE: N/A

3

LA-200

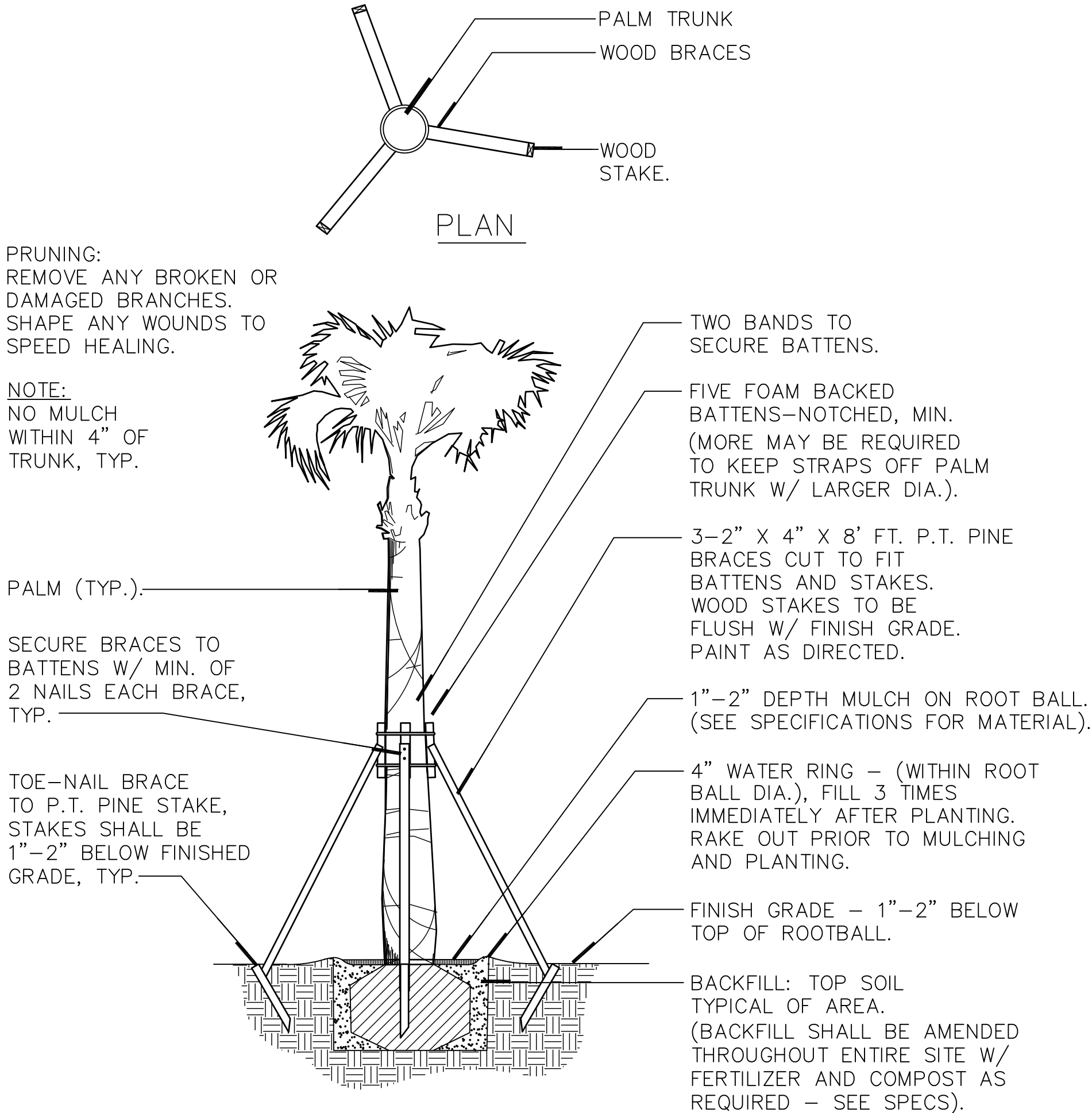


### MULTI-TRUNK TREE PLANTING DETAIL

SCALE: N/A

2	
---	--

LA-200



### PALM PLANTING DETAIL

SCALE: N/A

---

1

LA-200

[illegible]

LANDSCAPE ARCHITECT  
DANIEL A. ROGERS, RLA  
6666866

MARCH 24, 2014



DLR  
LANDSCAPE  
ARCHITECT

DANIEL A. ROGERS  
LANDSCAPE ARCHITECT

230 N. GLENWOOD AVE.  
ORLANDO, FLORIDA  
PH#: 407.353.0112

PROJECT NAME

MAGNOLIA DENTAL  
CENTER

611 N. MAGNOLIA AVENUE  
ORLANDO, FL 32801

SHEET NAME

LANDSCAPE  
PLANTING DETAILS

SCALE

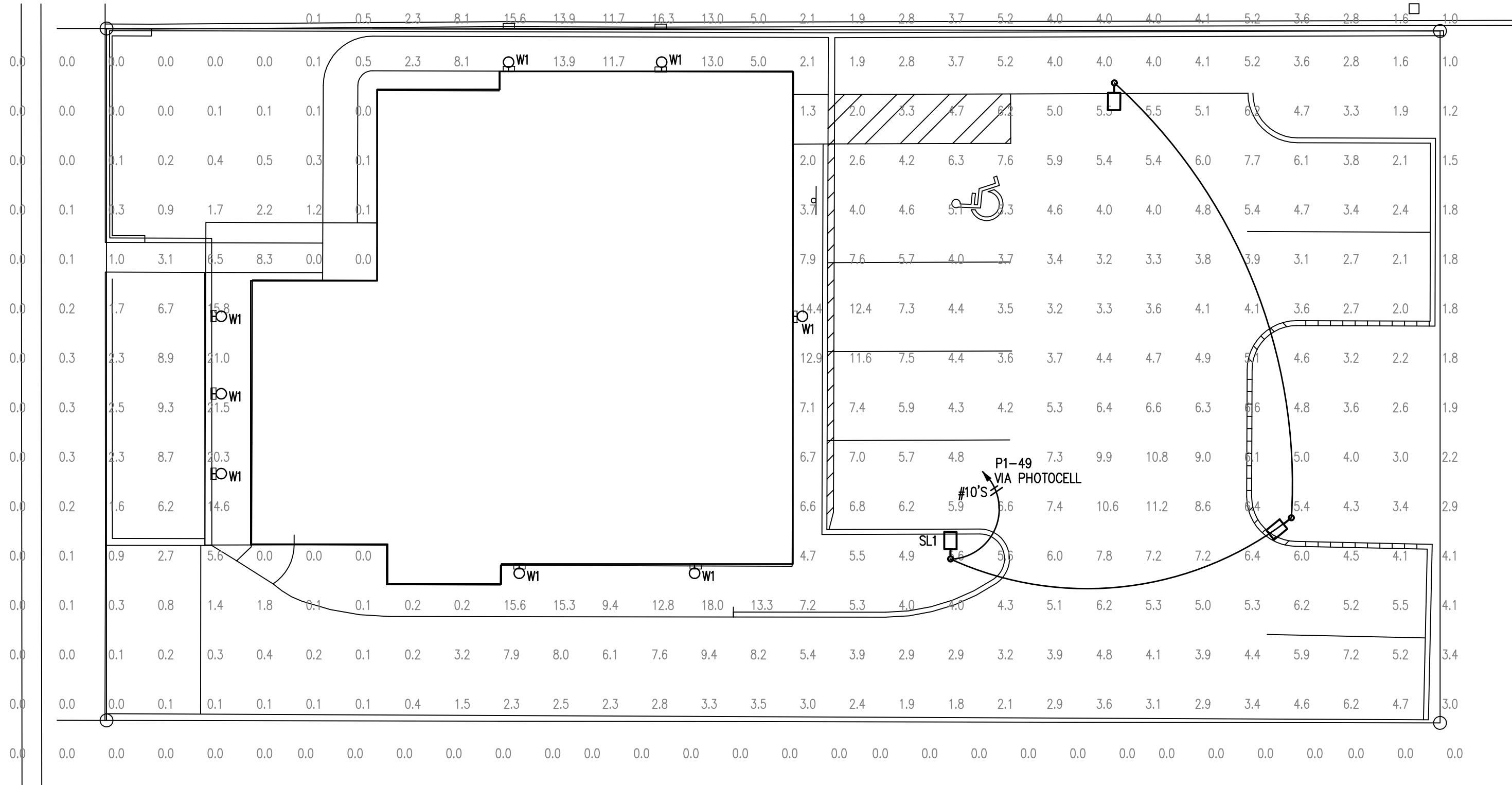
N/A

DATE	DRAWN
MAR.18.2014	MJA

SHEET NUMBER

# LA-201





1  
E0.2

## ELECTRICAL SITE PHOTOMETRIC

SCALE: 1" = 10'-0"



### FEATURES & SPECIFICATIONS

**INTENDED USE** — Ideal for parking areas, street lighting, walkways and car lots.

**CONSTRUCTION** — Rugged, die-cast, soft corner aluminum housing with 1/2" nominal wall thickness. Die-cast door frame has impact-resistant, tempered, glass lens that is fully gasketed with one-piece tubular silicone. Finish: Standard finish is dark bronze (DDB) polyester powder finish, with other architectural colors available.

**OPTICS** — Anodized, aluminum reflectors:IES full cutoff distributions R2 (symmetric), R3 (asymmetric), R4 (downward throw) and R5 (square) are interchangeable. High performance anodized, segmented aluminum reflectors:IES full cutoff distributions S2 (symmetric), S3 (asymmetric) and S4SC (downward throw, sharp cutoff). High performance reflectors attach with tool-less fasteners and are rotatable and interchangeable.

**ELECTRICAL** — Ballast: High pressure sodium: 70-150W is high reactance, high power factor. Constant wattage autotransformer for 200-400W. Metal halide: 70-150W is high reactance, high power factor and is standard with pulse-start ignitor technology. "SCW" not required. Constant wattage autotransformer for 175-400W. Super CWA (pulse start ballast), 88% efficient and EISA legislation compliant, is required for metal halide 151-400W (SCW option) for US shipments only. CSA, NEMA or IEC required for probe start shipments outside of the US. Pulse-start ballast (SCW) required for 200W, 320W, or 350W. Ballast is 100% factory-tested.

Socket: Porcelain, horizontally oriented medium base socket for 70-150W, Mogul base socket for 175W and above, and 70-400W, with copper alloy nickel-plated cover shell and center contact. UL listed 1500W, 600V.

**LISTINGS** — UL Listed (Standard), CSA Certified (see options), UL listed for 25°C ambient and wet locations. IP65 rated in accordance with standard IEC 529.

**WARRANTY** — 1-year limited warranty. Complete warranty terms located at [www.lithonia.com/CustomerResources/terms\\_and\\_conditions.aspx](http://www.lithonia.com/CustomerResources/terms_and_conditions.aspx)

Note: Specifications subject to change without notice.

Quantity
Notes
Type



**Specifications**

METAL HALIDE: 70-400W  
HIGH PRESSURE SODIUM: 70-400W  
20" TO 35" MOUNTING

EPK: 1.2 ft.  
Depth: 7-1/8" (18.1)  
Length: 17-1/2" (44.3)  
Width: 7-1/8" (18.1)  
All dimensions are inches (centimeters) unless otherwise specified.  
\*Weight as configured in example below.

Example: KAD 400M R3 T8 SCWA SP004 LPI

ORDERING INFORMATION For shortest lead times, configure product using <b>bolded</b> options.					
Series	Wattage	Distribution	Voltage	Ballast	Mounting <sup>1</sup>
KAD	Metal halide				
	70W <sup>1</sup> 250W <sup>1</sup>	Ceramic metal halide	R2 IES type II asymmetric <sup>2</sup>	120 20W <sup>3</sup>	(blank) Magnetic ballast
	100W <sup>1</sup> 320W <sup>1</sup>	705	R3 IES type II asymmetric <sup>2</sup>	240 <sup>3</sup>	CWI Constant wattage ballast <sup>4</sup>
	150W 350W <sup>1,4</sup>	100WMC <sup>1</sup>	R4 IES type IV forward throw <sup>5</sup>	277 347	WRO <sup>6</sup> Wall bracket
	175W <sup>1</sup>	150WMC	R5 IES type V square	480 <sup>7</sup>	WWO <sup>6</sup> Wood or pole wall
	200W <sup>1</sup>	400W <sup>1,4</sup>		18" 2500W <sup>8</sup>	Drill mounting <sup>9,10</sup>

Options		Finish <sup>11</sup>		Lamp <sup>12</sup>
Shipped installed in fixture	CSA CSA Certified	(blank) Dark bronze	DNAXD Natural aluminum	LPI Lamp included
SF Single fuse (120, 277, 347V) <sup>13</sup>	INTL Available MHI for probe start shipping outside the U.S.	DWH White	DWIXD White	LPL Lens lamp
PD Double Pole (208, 240, 480V) <sup>14</sup>	REG1 California Title 20, effective 1/1/2010	DBL Black	DWIBD Textured dark bronze	
PR Power tap <sup>15</sup>	REG2 California Title 20, effective 1/1/2010	DDB Medium bronze	DBLXD Textured black	
PER NEMA twist-lock receptacle only (no photocontrol)	Shipped separately <sup>16</sup>	DNA Natural aluminum	DNAXD Textured natural aluminum	
QSC Quartz restrictive system <sup>17</sup>	IS House side shield	DDBXD Dark bronze	DWIXD Textured white	
QSTB QSC time delay <sup>18</sup>	PE1 NEMA twist-lock PE (120, 208, 240V)	VG Vandal guard <sup>19</sup>		
WTB Terminal wiring block <sup>20</sup>		WG Wire guard <sup>21</sup>		

Accessories: Tenon Mounting Slipfitter (SP004 required.) Order as separate catalog number. Must be used with pole mounting.			
Number of fixtures			
Tenon Old.	One	Two <sup>1</sup>	Three <sup>2</sup>
2-3/8"	120-150	120-200 <sup>3</sup>	120-320 <sup>4</sup>
2-3/8"	120-150	120-200 <sup>3</sup>	120-320 <sup>4</sup>
4	120-150	120-200 <sup>3</sup>	120-320 <sup>4</sup>

OUTDOOR KAD-M-S



### FEATURES & SPECIFICATIONS

**INTENDED USE** — Square tapered direct-bury (embedded) concrete pole for up to 48-foot mounting heights.

**CONSTRUCTION** — Shaft: Concrete mix has a minimum 28-day compressive strength of 6500 PSI and conforms with ASTM-C150. Pre-stressing steel reinforcement is uncased 7 wire stress relieved strand per ASTM-A418. Steel spiral reinforcement conforms to ASTM-A62 and is not less than 120 (11-gauge) diameter. Poles have a continuous taper of 0.165 inches per foot. A 3" x 5" handhole is located 24" above ground line and a 2-1/2" x 7" minimum conduit entrance is located 18" below ground line. Inserts for the handhole and conduit entrance are non-corrosive and weatherproof. Handhole frames and covers conform to ASTM-B240.

Fasteners are high-strength galvanized or stainless steel.

**FINISH** — Poles have a smooth natural form finish, soft gray color standard. Stained color finishes available.

**GROUNDING** — An 18" long, #4 stranded copper pigtail, connected to reinforced strand, is provided at pole top and at cable entrance below grade.

### ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative. Example: STC 30 8-86X DM19

STC					
Series	Nominal shaft length	Nominal shaft base size	Mounting <sup>1</sup>	Options	Finish
STC	20 - 45 feet (See back page.)	(See back page.)	Tenon mounting <sup>1</sup>	Shipped installed	Standard colors <sup>5</sup>
			T20 2-3/8" O.D. (2" NPS)	TP Tamper proof	(blank) Natural finish
			T25 2-7/8" O.D. (2-1/2" NPS)	H1-18Cxx Horizontal arm bracket (1 fixture) <sup>14</sup>	DBB Dark bronze
			Drill mounting <sup>9,10</sup>	FDLxx Faston outlet less electrical <sup>15</sup>	Architectural colors <sup>6</sup>
			DM19 1 at 90°	CPL12xx 1/2" coupling <sup>3</sup>	
			DM2B 2 at 180°	CPL34xx 3/4" coupling <sup>3</sup>	
			AERIS™/OMERO™ Drill mounting <sup>2</sup>	CPL1xx 1" coupling <sup>3</sup>	
			DM19AS 1 at 90°	NPL12xx 1/2" threaded nipple <sup>3</sup>	
			DM2BAS 2 at 180°		

- NOTES:
- Concrete pole is not hollow. Fixtures should mount via tenon slipfitter. DM19 and DM2B drilling requires thru-bolt mounting.
  - The drilling template to be used for a particular luminaire depends on the luminaire that is used. Refer to the Technical Data Section of the Outdoor Binder for Drilling Templates.
  - Specify location and orientation when ordering option.
  - For 1st "X": Specify the height in feet above base of pole. Example: 9' = 9 and 000 = 20
  - For 2nd "X": Specify orientation from handhole (A,B,C,D) Refer to the Handhole Orientation diagram on this page.
  - Horizontal arm is 18" standard.
  - Poles are stained, not painted.
  - Finish must be specified. Additional colors available: see [www.lithonia.com/Architectural Colors brochure](http://www.lithonia.com/Architectural%20Colors%20brochure) (Form No. 794.3).
- IMPORTANT:**
- Do not erect poles without having fixtures installed.
  - Lithonia Lighting is not responsible for the foundation design.

OUTDOOR Sheet #: Pole-STC PL-500

CONCEPT ARCHITECT

JOEARCHITECT

1422 delgony street, suite LL1  
denver, colorado 80202  
t 720.946.3228 f 720.946.3004  
www.joearchitect.com



WJ WEEKS  
ARCHITECTURE LLC

1200 EAST HILLCREST  
STREET, SUITE 200  
ORLANDO, FLORIDA 32803  
407-234-3695

ARCHITECT OF RECORD

AA 26002407 AR 95341

PROJECT NAME

MAGNOLIA  
DENTAL CENTER

611 NORTH MAGNOLIA  
ORLANDO, FLORIDA

PROJECT NUMBER

2013-0023

OWNER/DEVELOPER NAME

NAZAK  
HOLDINGS LLC  
515 STATE ROAD 436  
SUITE 1010  
CASSELBERRY, FLORIDA

PROJECT TEAM

Issue

No.	Date	Description
1	12-26-13	ZONING VARIANCE APPLICATION
2	3-24-14	PERMIT DOCUMENTS

DRAWING NAME:

ELECTRICAL SITE  
PHOTOMETRIC PLAN

SCALE: AS INDICATED

DRAWING NUMBER:

E0.2

RBE  
CONSULTING SERVICES, LLC

3075 90TH AVE SUITE 100, DENVER, CO 80231  
MAIN PHONE: (303) 440-7900 FAX: (303) 440-7901  
WWW.RBECONS.COM EMAIL: RBE@RBECONS.COM

STRUCTURAL: (303) 440-7900 FAX: (303) 440-7901  
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MECHANICAL: (303) 440-7900 FAX: (303) 440-7901

ROBERT H. BEATTIE, P.E. FLORIDA PE #5500  
FLORIDA CERTIFICATE OF AUTHORIZATION #20709

THE CONSULTING SERVICES, LLC, HEREBY CERTIFIES THAT IT HAS  
OBTAINED THE NECESSARY PERMITS AND APPROVALS FOR THE  
DESIGN AND CONSTRUCTION OF THE PROJECT AND THAT THE  
DESIGN AND CONSTRUCTION OF THE PROJECT IS IN ACCORDANCE  
WITH THE CITY OF DENVER, COLORADO, AND THE STATE OF  
FLORIDA.





1200 EAST HILLCREST  
STREET, SUITE 200  
ORLANDO, FLORIDA 32803  
407-234-3695

ARCHITECT OF RECORD

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511 NORTH MAGNOLIA  
ORLANDO, FLORIDA

PROJECT NUMBER

2013-0023

OWNER/DEVELOPER NAME

515 STATE ROAD 436  
SUITE 1010  
CASSELBERRY, FLORIDA

## PROJECT TEAM

[illegible]

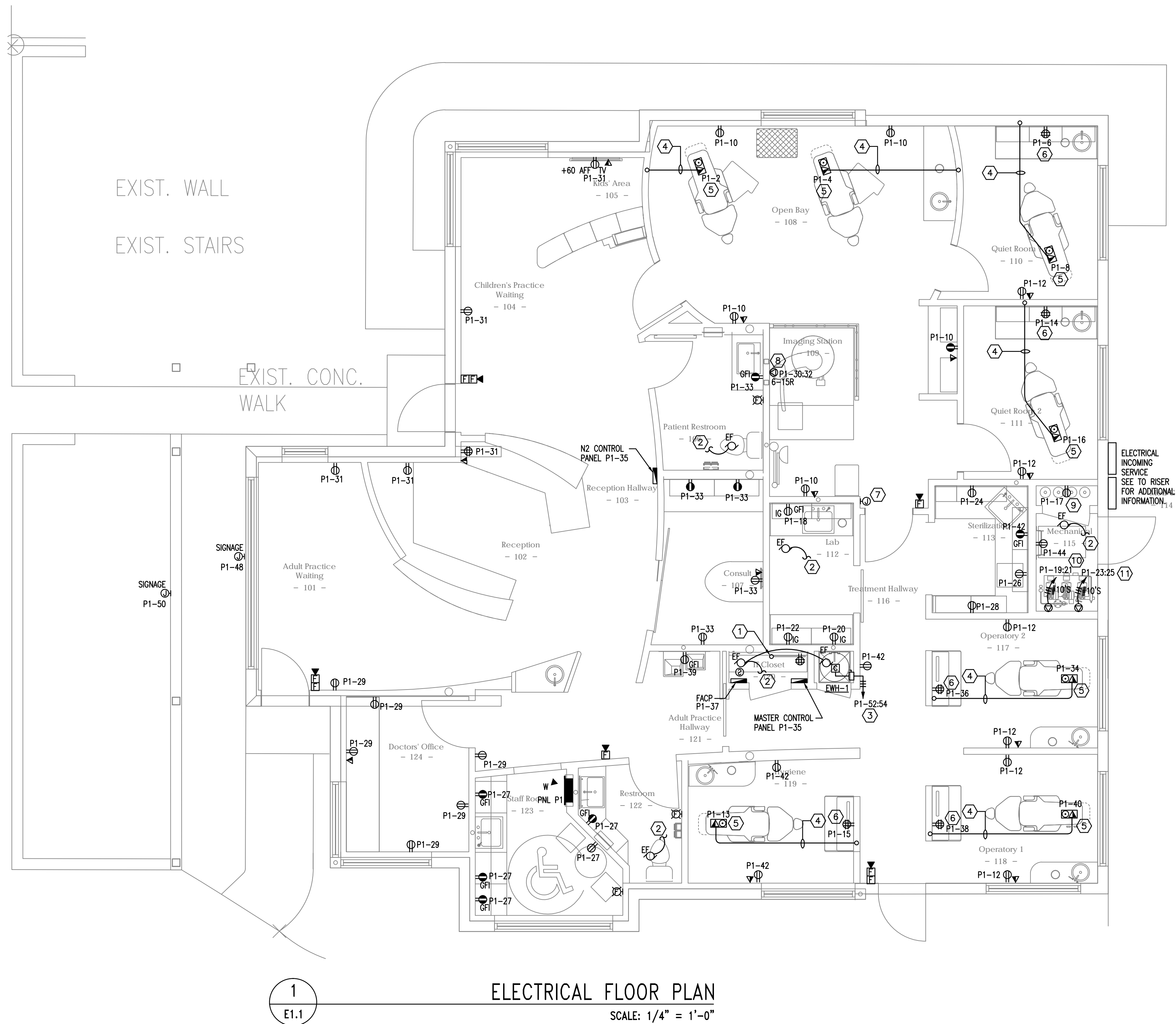
DRAWING NAME:

ELECTRICAL POWER  
AND SYSTEMS  
PLANS

SCALE: AS INDICATED

DRAWING NUMBER:

## E1.1



**RBE**  
CONSULTING SERVICES, LLC

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STRUCTURAL DEPT.: 407.796.3820 - EMAIL: RBEATTIE@RSECS.COM  
ELECTRICAL DEPT.: 407.617.5415 - EMAIL: FAM2184@RSECS.COM

MECHANICAL DEPT.: 407.796.3776 • EMAIL: [NSHAM@BEECS.COM](mailto:NSHAM@BEECS.COM)

ROBERT M. BEATTIE, PE      ALLOWED PE #33628  
FLORIDA CERTIFICATE OF AUTHORIZATION #27269

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DRAWINGS SHALL NOT BE ALTERED, COPIED, OR REPRODUCED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF "THE CONSULTING SERVICES, LLC".





***RBE***  
**CONSULTING SERVICES, LLC**

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MOBILE: 407.796.3630 - EMAIL: [RBECSLLC@GMAIL.COM](mailto:RBECSLLC@GMAIL.COM)

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ROBERT R. BEATTIE, PE FLORIDA PE REG.# 27569  
FLORIDA CERTIFICATE OF AUTHORIZATION # 727569

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DRAWING, SALE OR USE OF THESE PLANS, OR REPRODUCTION  
IN ANY FORM WITHOUT THE WRITTEN  
AND CONSENT OF THE CONSULTING SERVICES, LLC









2 POWER GROUNDING DETAIL  
E4.1 N.T.S.



### POWER DISTRIBUTION SYSTEM NOTES:

- BRANCH CIRCUIT WIRING NOTES:**

1. WIRING IS SHOWN ON DRAWINGS ONLY FOR SPECIFIC ROUTES OR SPECIAL CONDITIONS.
2. WIRING AND CONDUIT SHALL BE REQUIRED BETWEEN ALL OUTLETS INDICATED WITH CIRCUIT NUMBERS AND PANEL DESIGNATIONS.
3. ALL SWITCH CONTROLS SHALL BE PROVIDED WITH WIRING AND CONDUIT AS REQUIRED.
4. ALTHOUGH ALL BRANCH CIRCUIT WIRE AND CONDUIT IS NOT SHOWN, IT IS INTENT OF THESE DOCUMENTS THAT A COMPLETE BRANCH CIRCUIT WIRING SYSTEM BE INSTALLED.
5. PROVIDE A GREEN GROUND CONDUCTOR IN ALL CIRCUITS, APPROPRIATELY SIZED INCREASE CONDUITS TO ACCOMMODATE GROUND CONDUCTOR.
6. UNLESS SHOWN OTHERWISE (BRANCH CIRCUITING INSTRUCTIONS):  
1600 WATTS MAXIMUM PER 20A/1P BRANCH CIRCUIT,  
A. UNLESS SHOWN OTHERWISE.  
B. 6 CONV. OUTLETS MAXIMUM PER 20A/1P BRANCH CIRCUIT.

VOLTAGE DROP FEEDER CONDUCTORS SHALL BE SIZED FOR A MAXIMUM VOLTAGE DROP OF 2 PERCENT AT DESIGN LOAD.

JOEARCHITECT



1200 EAST HILLCREST  
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ARCHITECT OF RECORD

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SUITE 1010  
CASSELBERRY, FLORIDA

## PROJECT TEAM

DRAWING NAME:

## POWER RISER DIAGRAM, DETAILS AND SCHEDULES

SCALE: N.T.S.

DRAWING NUMBER:

## E4.1

*RBE*  
CONSULTING SERVICES, LLC

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STRUCTURAL DEPT.: 407.796.5820 • EMAIL: RBEATTIE@SECS.

ROBERT M. BEATTIE, PE; FLORIDA PE #55626

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