

**Staff Report to the
Southeast Town Design Review Committee
May 14, 2015**

**MPL2014-00039
SUB2015-00021
ITEM #1**



LAUREATE PARK NEIGHBORHOOD CENTER



Location Map



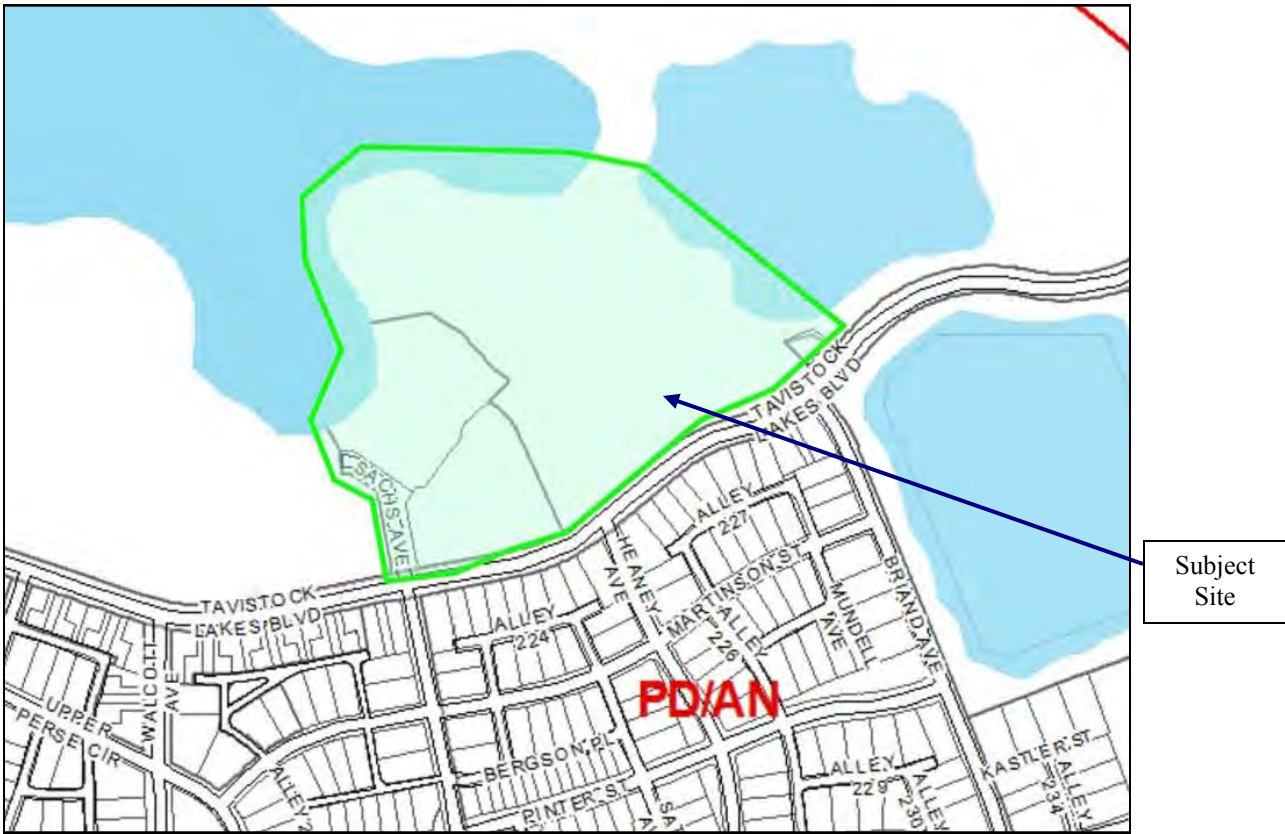
SUMMARY

<p>Owner</p> <p>James L. Zboril Lake Nona Land Company, LLC</p> <p>Applicant</p> <p>Heather Isaacs Lake Nona Land Company, LLC</p> <p>Project Planner</p> <p>Michelle Beamon, AICP</p>	<p>Property Location: The subject property is located north of Tavistock Lakes Boulevard, west of Narcoossee Road, and south of the Central Florida Greenway (SR 417) (16.493 acres, District 1).</p> <p>Applicant's Request:</p> <ol style="list-style-type: none"> 1. Specific Parcel Master Plan (SPMP) approval for an amendment to Phase 1 for an additional 3,900 sq. ft. to a total of 6,300 sq. ft. mixed use building, 2,300 sq. ft. multi-purpose building and a 3,000 sq. ft. fitness center; and approval of Phase 2 which includes 141 dwelling units. 2. Request for a Major Subdivision Plat to create the Preliminary Plat for Phase 2 of the neighborhood center (11.324 acres). 	<p>Staff's Recommendation:</p> <p>Approval subject to the conditions in the staff report.</p>
<p>Updated: May 28, 2015</p>		

FUTURE LAND USE MAP



ZONING MAP



MASTER PLAN ANALYSIS

Project Description

The subject property is located north of Tavistock Lakes Boulevard, west of Narcoossee Road, and south of the Central Florida Greenway (SR 417). The site is currently designated Urban Village on the Official Future Land Use Map and is zoned PD. This site is within the Lake Nona Development of Regional Impact (DRI Parcel 7) and is designated as a Neighborhood Center on the DRI Map H, a portion of parcel 28D and the entire parcel 28C.

The subject property is part of the Laureate Park neighborhood center development which was previously approved by the SETDRC (Case #MPL2011-00035) for 4,500 sq. ft. mixed use building, 1,500 sq. ft. multi-purpose building and a 1,700 sq. ft. fitness center. This proposed Specific Parcel Master Plan (SPMP) is for an additional 1,800 sq. ft. of mixed use building, 800 sq. ft. of multi-purpose building and 1,300 sq. ft. of fitness center as well as a new Phase 2 for 141 dwelling units to include townhomes, condominiums, boutique apartment and single family waterfront lots. The parking generated from the additional square footage will be accommodated within Phase 2.

Previous Actions:

- September 2010—The Southeast Town Design Review Committee (SETDRC) approved the Laureate Park Phase 1 SPMP to allow for a residential development comprised of 504 dwelling units (Case #MPL2010-00014). This SPMP depicted four sub-phases within the development. The Laureate Park Neighborhood Center site was depicted as the fourth sub-phase in the plan. The Laureate Park Phase 1 SPMP required as a condition of approval that a separate SPMP for the Neighborhood Center be submitted for review by the SETDRC prior to development on this portion of the development.
- August 2011—The SETDRC approved the Laureate Park Phase 2 SPMP to allow for a residential development comprised of 159 dwelling units (Case #MPL2011-00013).
- August 2011—The SETDRC approved the Laureate Park Phase 3 SPMP to allow for a residential development comprised of 130 single family dwelling units (Case #MPL2011-00015).
- January 2012—The SETDRC approved the SPMP for the Laureate Park Neighborhood Center Phase 1 (Case #MPL2011-00035). This SPMP approved a 4,500 sq. ft. mixed use building that will have an information center and retail, a 1,500 sq. ft. multi-purpose building, a 1,700 sq. ft. fitness center and two swimming pools with a pool cabana.

Project Context

The subject property is located within the Lake Nona DRI, a community located in the southeast section of Orlando. More specifically, the site is located within the planned Laureate Park neighborhood. Phase 1 of the property is under construction and Phase 2 is vacant, both phases are designated as Neighborhood Center in the DRI. The proposed Neighborhood Center would be compatible with the surrounding planned uses. It will provide various amenities to serve the residents of the Laureate Park neighborhood.

Table 1—Project Context

	Future Land Use	Zoning	Surrounding Use
North	Urban Village	PD/AN	Stormwater Pond
East	Urban Village	PD/AN	Residential Neighborhood (vacant land)
South	Urban Village	PD/AN	Residential Neighborhood (under construction)
West	Urban Village	PD/AN	Neighborhood Center (vacant)

Conformance with the GMP

The proposed SPMP is consistent with the GMP Policies related to the Southeast Orlando Sector Plan, including Future Land Use Element Policy 2.4.4 (Urban Village policy) along with Goal 4 and its associated goals, objectives and policies.

Conformance with the LDC—Chapter 68 Southeast Orlando Sector Plan

In order to be consistent with the Southeast Orlando Sector Plan, applications must be reviewed for compliance with LDC Chapter 68, which lays out the detailed development guidelines and standards for the Southeast Plan area. The proposed development is categorized as “Neighborhood Center” in the Lake Nona DRI/PD. According to LDC Section 68.200 (a) (3), a Neighborhood Center is described as a place that provides gathering places for people and walkable destinations for neighborhood-focused retail and/or civic activities. Moderate density housing located within the Neighborhood Center category should surround the core commercial area and be integrated with its design. Section 68.204 outlines the guidelines that applies to Neighborhood Centers. The various components consist of mix of uses, housing, location, pedestrian-oriented design and access, and public spaces.

- *Mix of Uses.* According to Section 68.204, “*Neighborhoods should be designed to foster access to everyday services (public, semi-public, and private commercial), promote a sense of community and encourage the use of alternative modes of transportation.*” The neighborhood center is providing a mix of uses. The approved Phase 1 includes a mix of retail and recreational amenities for the residents of Laureate Park. The guidelines require that the retail uses do not exceed 100,000 square feet within the overall Neighborhood Center. Phase 1 of the Laureate Park Neighborhood Center proposes a total of 11,600 square feet of non-residential uses. The proposed Phase 2 includes 141 dwelling units to include townhomes, condominiums, boutique apartment and single family waterfront lots. This will create a more compact neighborhood to promote the sense of community.
- *Housing.* According to Section 68.204, “*Medium intensity housing located within Neighborhood Centers should surround the core commercial area and be integrated with its design.*” The proposed Phase 2 includes 141 dwelling units at a density of 12 dwelling units per acre which will include townhomes, condominiums, boutique apartment and single family waterfront lots.
- *Location.* According to Section 68.204, “*In general, Neighborhood Centers should be located so that the majority of residents are within a comfortable walking distance (one-quarter mile) and the mix of uses should ensure that most patrons are from the adjacent neighborhood.*” The Laureate Park Neighborhood Center is located immediately adjacent to the Laureate Park residential neighborhood which is south of the proposed neighborhood center. Residents living in Phase 1A of the residential development would be within the one-quarter mile walking distance of the neighborhood center (Walcott Avenue from Tavistock Lakes Boulevard to Laureate Boulevard is approximately a quarter of a mile). Residents living in Phase 1B would be less than a half of a mile from the neighborhood center.
- *Pedestrian-Oriented Design.* According to Section 68.204, “*Neighborhood Centers shall be mixed use, pedestrian-oriented gathering places that establish the identity and character of the neighborhood.*” The proposed Neighborhood Center offers a various mix of retail, recreational amenities and gathering places for the residents of Laureate Park. The proposed Pedestrian Access and Circulation Plan located on page 12 of this staff report highlights the streets planned within Phase 2 that are pedestrian and bicycle friendly.
- *Public Spaces.* According to Section 68.204, “*A small neighborhood park, green space, or plaza should be associated with every Neighborhood Center to provide opportunities for small gatherings, neighborhood events, and some active recreational.*” The approved Phase 1 site plan meets this guideline by depicting a “neighborhood green” which is approximately 0.2 acres in size and two swimming pools as recreational amenities.

The minimum density within the Neighborhood Center future land use designation is 7 du per acre, with no minimum FAR for non-residential uses. The maximum density is 25 du/gross acres, or 0.3 FAR for non-residential uses. The residential acreage is 11.3, yielding a density of 12 units per acre.

Figure 68-C requires the following composition of mix within the Neighborhood Center:

- Mixed use blocks to be between 12% to 25% of the Center (30% to 80% retail, cinema or hotel required, 20% to 70% other);
- Commercial blocks between 0% to 13% of Center;
- Residential blocks between 52% to 78% of Center.
- Civic blocks is 10% of Center.

Table 2 on the following page displays the mix of uses for this neighborhood center.

Table 2—Neighborhood Center Development Program

Phase	Acreage	Proposed Land Use	Development Program	Total Land Area
1	2.383	Mixed Use	6,300 sq. ft. mixed use building	14.4%
			2,300 sq. ft. multi purpose building	
	0.200	Civic	Neighborhood green	13.9%
	2.101	Civic	3,000 sq. ft. fitness center	
			Two swimming pools	
2	10.112	Residential	106 dwelling units; townhomes, condominiums, boutique apartments and single family waterfront lots.	68.6%
3	1.212	Residential	35 dwelling units, future development	
Total	16.493	n/a	6,300 sq. ft. mixed use building, 2,300 sq. ft. multi-purpose building, neighborhood green, 3,000 sq. ft. fitness center, two swimming pools and 141 dwelling units.	100%

Development Standards

The Laureate Park Neighborhood Center has been reviewed for conformance with the Neighborhood Center requirements shown in Future Land Use Policy 4.19 and LDC Sections 68.314—68.325. According to LDC Figure 68-A, development in the Neighborhood Center designation must adhere to Traditional Design. Standards for mixed use and commercial shall be consistent with the City's AC-N zoning district for those standards not covered in Chapter 68. Development within Phase 1 should adhere to MPL2011-00035, this amendment only increases the square footage. The additional parking needs will be provided within Phase 2. The updated intensity for Phase 1 is 0.04 FAR, it was previously 0.03 FAR.

Intensity

According to Future Land Use Policy 4.1.9, the minimum density is 7 du/gross acre with no minimum intensity for non-residential uses and the maximum intensity of 25 du/gross acre and 0.3 FAR for non-residential uses. The residential acreage is 11.3 which yields a density of 12 units per acre.

Impervious Surface Ratio (ISR)

The maximum ISR permitted is 0.75 according to the Neighborhood Center standards (AC-N default zoning). The applicant is requesting a maximum ISR of 0.85 for this Neighborhood Center. This is greater than the rest of the overall Laureate Park residential development. The increase in ISR is to achieve the unique urban environment, this will be mitigated by the adjacent stormwater ponds, ample pedestrian connections and the code required landscaping.

Mix of Housing Types—LDC Section 68.301

A mixture of housing types is required within each residential area. Phase 2 provides a mixture of housing types to include townhomes and single family bungalows. The future development phase may contain a more dense housing type such as garden apartments or tuck under apartments.

Housing Model Variation—LDC Section 68.302

Variations in building mass, entry and porch design, window pattern, roof form, and/or other architectural features are strongly encouraged. Each development of 100 or more homes shall have at least four (4) models with three elevations and material treatments each. While the application has a mixture of housing types, only four example elevations have been submitted for one of the housing types. The remaining elevation shall be submitted at Appearance Review prior to the submittal of building permits.

Relationship of Buildings to Streets and Parking—LDC Section 68.314

- **Orientation.** The primary façade must contain the primary entry and face a street or mews.
- **Homes Adjacent to Parkways and Arterial Streets.** The primary entry shall be visible and accessible directly from a public street or sidewalk on a mew. Primary facades that front onto a street should be built parallel to the street.
- **Primary Entry and Porches.** Every home shall have its primary entry facing a street or mews and not more than 6 feet recessed back from the face of the primary facade. Porches for all residential types shall be accessed directly from a public street or pedestrian easement and must be visible from the street. If built, front porches shall have a minimum depth of six feet and com-

prise a minimum of 30% of the width of a building's primary front facade (not including the garage) or 10 feet whichever is larger.

- Garages. Residential streetscapes shall not be dominated by garages. Garage frontage shall also be limited for single family houses, duplexes and townhomes; garages shall not comprise more than 50% of a building's street facing frontage.
 - Garages for Estate Residential, Large-Lot Single Family, Standard-Lot Single Family, Small-Lot Single Family, and Duplex types shall be provided in one of two ways:
 - ◊ attached and recessed from the primary facade (not including porches, bays, or other minor projections) by a minimum of 8 feet and at least 24 feet from the street right-of-way; or
 - ◊ attached or detached, placed at the rear property line, and accessed by either an alley or a side yard driveway. In each development of single family houses and/or duplexes, no more than 50% of the units may have a recessed, front-loaded garage.
 - Garages for Townhouse and Apartment types may be either:
 - ◊ attached or detached, placed at the rear property line, and accessed by an alley or side yard driveway; or
 - ◊ for apartments, carports or garages may be grouped together and placed behind buildings.

All of the lots have the primary façade facing a street, in limiting instances the primary façade faces a street-like alley. The primary entrances are located on the primary façade and all proposed porches are in line with the primary façade. The lots that are adjacent to Tavistock Lakes Boulevard, front Tavistock Lakes Boulevard as required and are served by an alley. The application is requesting a different garage configuration from what is required of the code listed above. The single family homes are proposed to have two car garages which are in line with the front façade, see the proposed elevations on page 18 of this staff report.

Setbacks—LDC Section 68.304 and 68.305

The required setbacks for the residential areas within the Neighborhood Center are a minimum front setback of 15', a minimum side yard setback of 5' (unless a zero lot line is proposed—then only one 5' side yard setback is required), and a minimum 15' rear setback. As a comparison, Table 3 below displays setbacks that have been approved for similar lot types in other phases of Laureate Park, which are in the Residential Neighborhood designation. In the Residential Neighborhood, typical setbacks are a minimum 15' to a maximum of 30' front setback, a rear setback a minimum of 15' and a minimum of 5' side setback, unless a zero-lot line is proposed. If a zero-lot line unit is proposed, a single 5-foot side yard is required. The standards have been amended a few times for site specific site constraints in other neighborhoods.

Table 3: Residential Development Standards in Other Phases of Laureate Park

Lot Type		Front Setback	Front Porch Encroachment	Side Street Setback	Side Street Porch Encroachment	Interior Side Setback & Side Alley Setback	Two Story Side Setback	Rear Alley Setback ⁽¹⁾	Rear Non-Alley Setback ⁽²⁾	Impervious Surface Ratio Guideline ⁽³⁾
1	30' x 120'	15'	8'	15'	8'	3'	3'	5'	N/A	0.70
2	40' x 90'	15'	8'	15'	8'	5'	5'	5'	N/A	0.70
3	40' x 120'	15'	8'	15'	8'	5'	5'	5'	N/A	0.70
4	45' x 120'	15'	8'	15'	8'	5'	5'	5'	N/A	0.70
5	50' x 120'	15'	8'	15'	8'	5'	5'	5'	N/A	0.70
6A	60' x 120'	15'	8'	15'	8'	5'	5'	5'	N/A	0.70
11	Townhome	15'	5' Stoops	15'	N/A	5'	5'	5'	N/A	0.70

Notes:

- (1) Garages are required to be either 5' or 16' off the rear property line. Lots deeper than the standards size may be granted an exception.
- (2) Accessory structures may be placed 5' off the rear property line. Accessory dwelling units shall not exceed 580 square feet and may be either detached or connected with an open-air covered breezeway. A minimum 10' building separation from wall planes (or foundation walls if an open air structure) is required between the accessory structure and the principle structure.
- (3) The Impervious Surface Ratio for the entire Laureate Park Phase 1 shall be calculated using a blended ratio and shall not exceed 0.70 on a gross overall basis. Individual lots may exceed this ratio, so long as the overall ratio is 0.70.

This application is proposing amendments to the standard residential development standards to accomplish a unique urban environment that is not currently available in Lake Nona. The purpose of new design is to establish a unique urban character, provide new housing opportunities, add new pedestrian destinations and pathways and to create attractive “urban” streetscapes. This application is requesting smaller setbacks in order to accomplish the unique urban character. The setbacks are based on the type of residential development, city homes, 40’ cottage homes, 45’ cottage options (three types) and 60’ cottage homes, see Table 4 below.

Table 4: Proposed Standards for Laureate Park Neighborhood Center						
Type	Front Setback	Street Side Setback (min-max)	Side Setback	Rear Alley Setback	Rear Non-Alley Setback	Impervious Surface Ratio Guideline (2)
City Homes (townhomes)	5’	5’ - 10’ ⁽³⁾	0’ or 5’	5’	N/A	0.85
40’ Cottage Homes ⁽¹⁾	5’	5’ - 10’	5’	5’	N/A	0.85
45’ Cottage Homes (Option 1) ⁽¹⁾	5’	5’ - 10’	5’	N/A	5’	0.85
45’ Cottage Homes (Option 2) ⁽¹⁾	5’	5’ - 10’	5’	N/A	5’	0.85
45’ Cottage Homes (Option 3) ⁽¹⁾	5’	5’ - 10’	5’	N/A	5’	0.85
60’ Cottage Homes ⁽¹⁾	5’	5’ - 10’	5’	N/A	5’	0.85

Notes:

- (1) The lot depth varies, average of 84’, minimum 58’ and maximum of 129’.
- (2) The narrative states the ISR will not exceed 0.85 for the neighborhood center. Therefore each building permit application shall provide a table displaying the current ISR and show how the neighborhood center is meeting the overall ISR.
- (3) Lots 7, 30, 56 and 79 shall have a street side setback of 0’ provided that an open space tract (generally 5’ in depth) is adjacent to the building, in between the building and the sidewalk.

The main differences to the residential development standards are the front setbacks are reduced from 15’ and 20’ to 5’ and that 5’ front setback is also the utility easement and in some cases includes the sidewalk. The rear non-alley setback is also reduced from 20’ to 5’. The impervious surface ratio is 0.85 for the entire neighborhood, this is 0.15 higher than currently allowed. Also, the garage orientation and treatment varies from the current regulations. LDC Section 68.303(d) require the garages to be set back at least 8’ from the front façade and not take up more than 50% of the front façade. As can be seen on page 15, the garages are proposed to be in line with the front facades, and be a maximum of a two car garage. They will not be recessed and will exceed 50% of the front façade. In order to mitigate the dominance of the garage on the front façade, the façade and garage must be articulated and the home must be at least two stories. Also, since there are no rears and limited yard space, accessory structures shall be prohibited. Fencing, on all sides of the lot, shall not exceed 4 ft and shall be an approved CPTED fence which is a wrought iron or wrought iron-type fence.

Since this project has such differing setbacks and street cross sections than the rest of the Lake Nona Development, and any development within the City of Orlando, prior to any further approvals of similar designs, a post development site visit must be completed by City staff. The post development site visit will evaluate if the area is pedestrian friendly, logical to navigate and safe for vehicles and pedestrians and adequately addresses demand for parking. This will help staff determine if similar development standards can be recommended for future phases.

Building Height—LDC Section 68.306

Height is limited by the number of stories, not the overall height to provide variety to the skyline in the mixed use centers. The Neighborhood Center designation allows for 1 to 3 stories. The proposed conceptual architecture depicts two and three story buildings. Even though the architecture is subject to change, no building shall exceed the 3 story height limit and the single family houses must be at least two stories. This is to mitigate the effect of the garages and small front setbacks.

Facades and Roof Form—LDC Section 68.307

- Façade articulation. The facades of all residential buildings that face an adjacent street, park, or open space shall be articulated. Articulation may include porches, bay windows and/or balconies.
- Windows. The facades of all residential buildings that face an adjacent street, park, or open space shall have windows covering at least 15% of the façade’s area. The largest window or group of windows of the living room, dining room, or the family room should be full visible from the street.
- Garage door treatments. All residential garage doors visible from a street or park shall consist of articulated panels and incorpo-

rate the following features:

- ◇ Indoor living space or balcony space built over the garage with clear sight lines between the street and these spaces;
- ◇ Strong shadow lines around the garage face created by recessing the door one foot behind the adjacent building pane, and;
- ◇ For multiple car garages, limit garage doors to nine feet (9') in width with intervening posts at least one foot in width.

Visual Character—LDC Section 68.308

- Climatic Response. Building design should respond to Southeast Orlando's summer sun with deep recesses and overhangs. Entries, particularly the front door, should be generously protected by a porch. Principal rooms should have windows, whenever possible, on two walls to provide balanced daylighting, and facilitate natural cooling and ventilation. Homes should be oriented so a majority of primary living spaces receive direct sunlight, and incorporate overhangs, awnings or trellises which allow the low winter sun to penetrate the unit, while blocking the high summer sun.
- Ground Floor Elevation. Building foundations shall be elevated above the finished grade. Residential buildings shall incorporate either raised concrete pads or a raised wood joist floor with perimeter foundation at a minimum of 18 inches above the finished grade.
- CPTED. Residential developers shall utilize the design features presented in the Crime Prevention Through Environmental Design "Your Guide to Creating a Safe Environment" booklet prepared by the City of Orlando Planning and Development Department and shall incorporate appropriate safety techniques into residential designs.

Materials—LDC Section 68.309

Exterior finishes should be primarily hardie board, masonry, and/or stucco. Material changes should not occur at external corners, but may occur at "reverse" or interior corners or as a "return" at least 6 feet from exterior corners. Scored plywood (such as "T-1-11") shall not be permitted.

Residential Fire Sprinklers—LDC Section 68.310

Per Section 3N(2) of the Amended and Restated Lake Nona Planned Development (doc #0708201010), the required interior sprinkling of detached one-family and attached two-family residential dwelling units within Lake Nona South of the Greenway has been waived.

Pedestrian Access Ways and Bicycle Circulation—LDC Section 68.311

All residential developments shall be designed to promote pedestrian and bicycle circulation within the development and to promote access to surrounding areas, including schools, parks, mixed use centers, and other designations, consistent with Chapter 60 of the Land Development Code. Entry posts, columns, and/or landscaping should be installed where an internal sidewalk intersects with a public sidewalk. A Pedestrian Access and Connectivity Plan shown on page 12 of this staff report.

Additional Standards by Residential Housing Type—LDC Section 68.312

Single Family Small Lot

- Encourage rear garages served by a mid-block alley.
- Side drives shall be "Ribbon-Strip" drives. Ribbon-Strip drives contain a median planting strip.
- 9-foot maximum driveway width at street right of way. This standard shall not apply to alley-accessed garages. The driveway width on alleys shall extend no more than one (1) foot on either side of the garage structure.
- Where alleys are present, the garage door openings shall be oriented towards the alley. Dual openings, where the garage openings face both the street and the alley, may also be permitted so long as the maximum driveway width on the street side does not exceed the standards specified below and provided all other setback standards are achieved.
- Flaring of driveway towards the garage entrance shall begin no less than 5 feet from the edge of the sidewalk/property line.
- Flaring of driveway from the property line towards the street shall be consistent with the City's Conventional LDC and Engineering Standards Manual.

Townhouse/Rowhouse

- Garage access from alleys located at rear of lots is required.
- Tandem parking is permitted in garages.

Parking—LDC Section 61.322

Attached dwellings require a minimum of one parking space and an additional space for dwelling units over 2,000 sq. ft. of gross floor area. One family dwellings require a minimum of one parking space. Because of the limitation of the streets to provide reliable street parking, each dwelling unit will have two parking spaces located within a garage. There are 88 additional parking spaces located in two shared parking lots and on street parking spots. These additional parking spaces are meant to be additional/over flow parking for the Phase 1 development.

Landscaping and Street Furnishings—LDC Chapter 60

The landscaping must adhere to Chapter 60 of the Land Development Code as a landscaping plan was not submitted with the application. Given the small setbacks proposed, a typical lot landscaping plan is required for the single family lots. Townhome lots must meet the multifamily standards.

Urban Design

See the conditions of approval beginning on page 30 of this staff report.

Circulation Guidelines and Standards*Street Cross Sections*

Typical cross-sections have been developed for each type of street within Southeast Orlando. These cross-sections shall only be used where Traditional Design land use and building standards are utilized. Each cross section details lane width, medians, bicycle lanes, parking, sidewalks, landscape areas, drainage (rural roadways), and required right-of-way. Cross sections may be modified to accommodate special circumstances. The applicant also submitted street cross sections specific to Phase 2 of this neighborhood center, as shown in the Pedestrian Access and Connectivity Plan on page 12 of this staff report. The cross sections differ from the standard Lake Nona cross sections in the effort to create a unique urban environment. The streets within the Laureate Park Neighborhood Center shall be public and shall not be gated.

Deviations from City Code and the Engineering Standards Manual are approved for use in this development subject to the conditions of approval beginning on page 30 of this staff report.

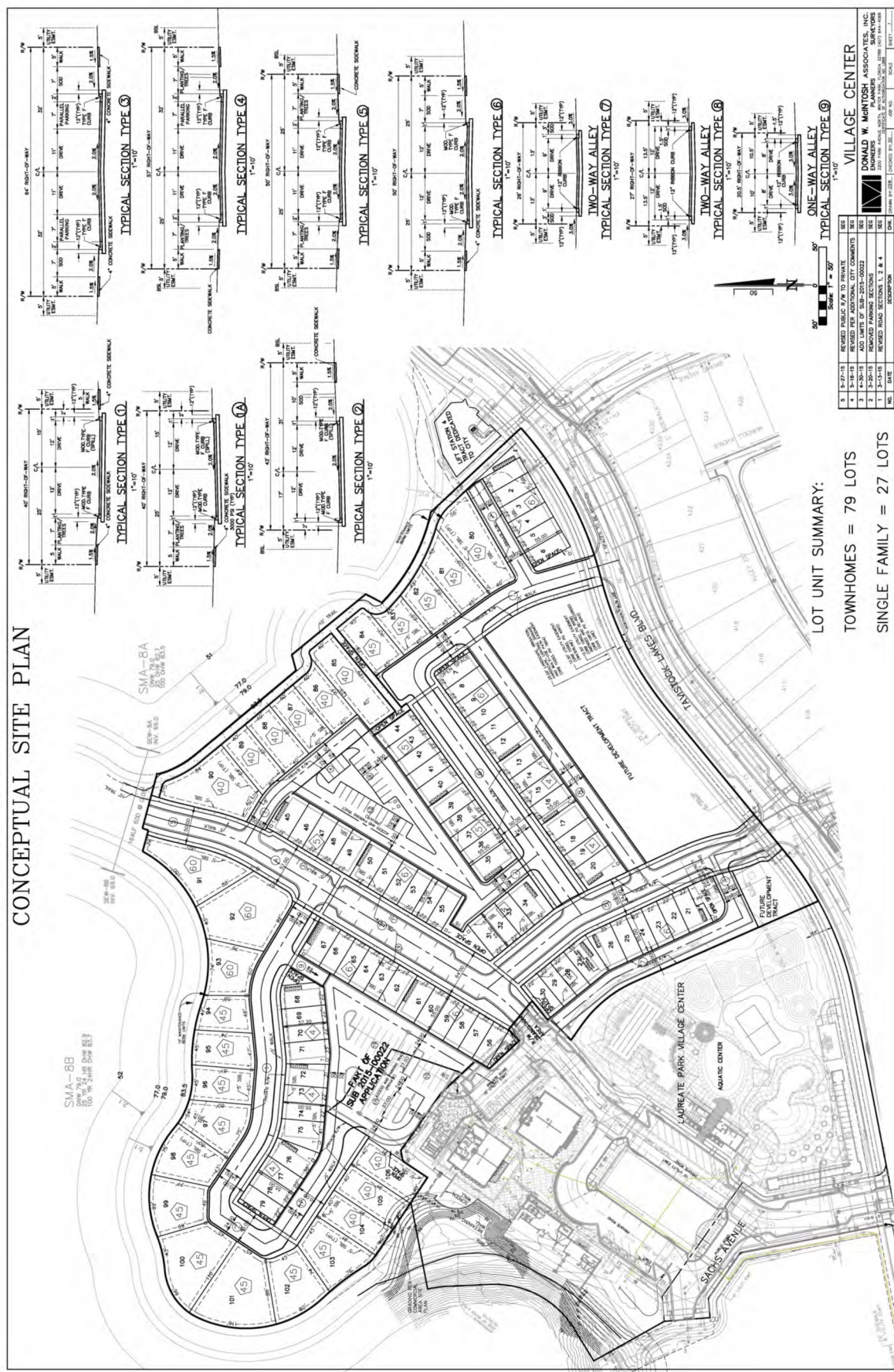
AERIAL MAP



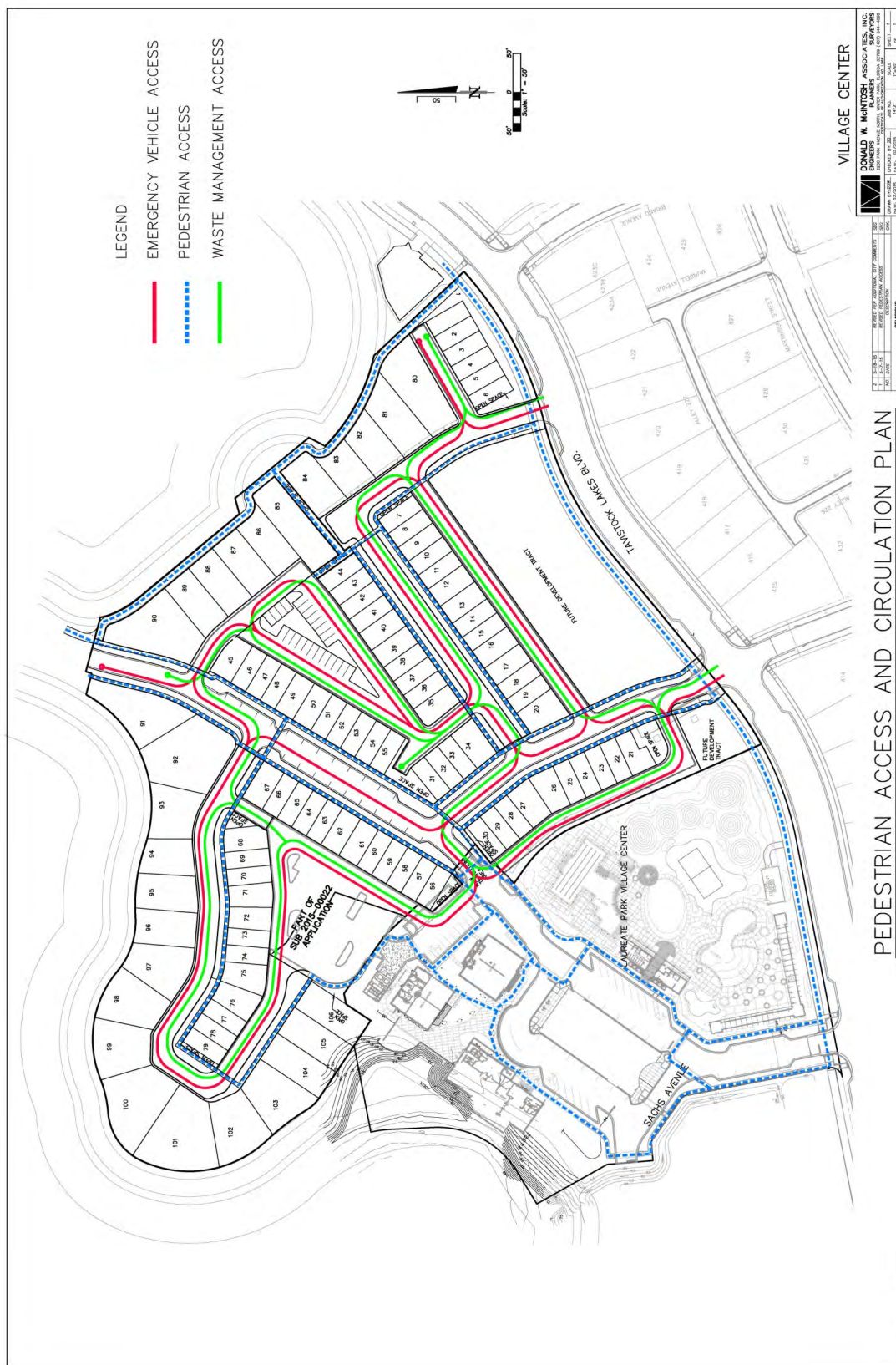
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PROPOSED CONCEPTUAL SITE PLAN

Updated
to show
public
versus
private
streets
per
SETDRC
approval

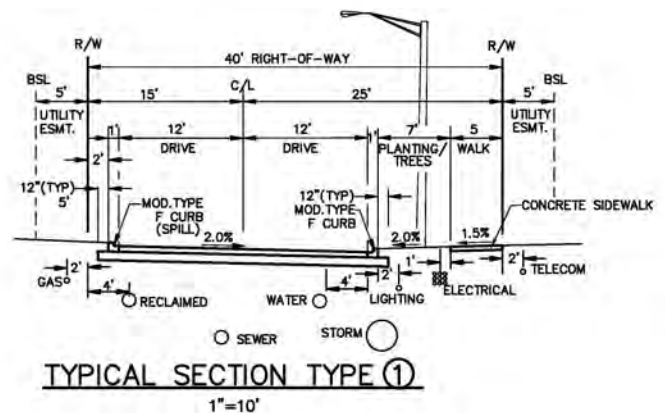
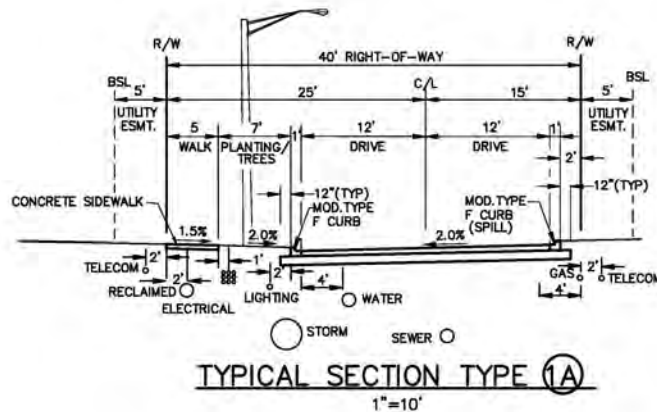
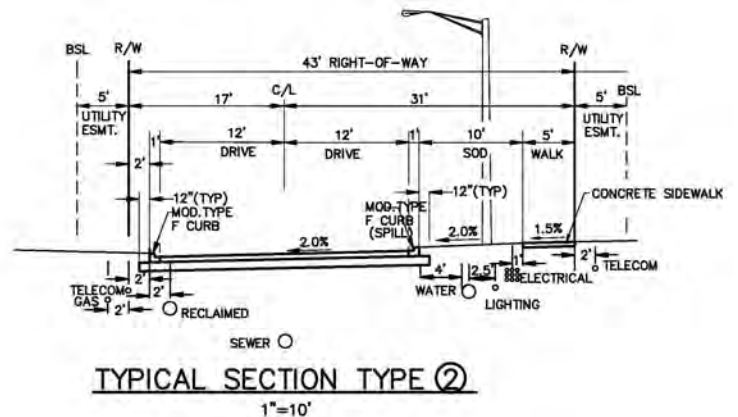


*Updated to
show the re-
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per SETDRC
approval*



PROPOSED STREET CROSS SECTIONS

Typical Section Type 1 was updated per SETDRC approval.

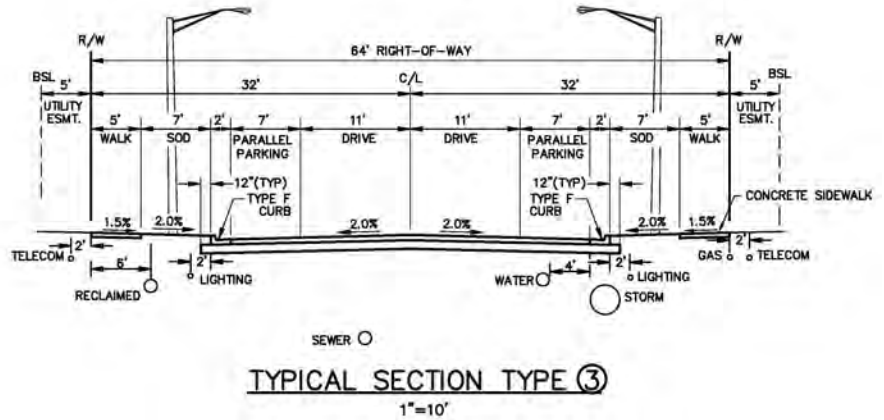
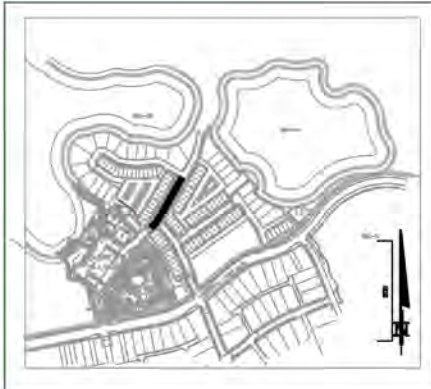
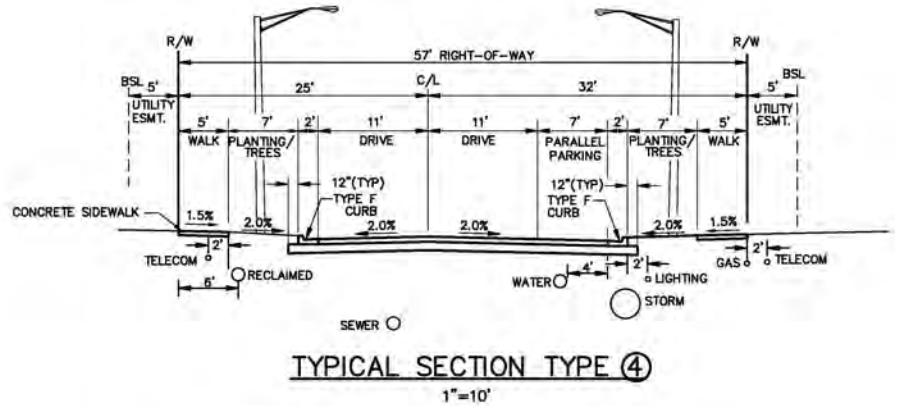


Notes:

1. Cross-sections and utilities shown within the sections are typical concepts and are subject to change based on final design and engineering.
2. The use of pavers to replace asphalt in travel lanes and/or parking areas may be done at the option of the Developer.
3. Street names are subject to change.
4. Typical pavement structures and curb and gutter design shall conform with the City of Orlando Engineering Standards Manual latest edition, or as modified by the City Engineer.
5. The property described herein may be developed in phases provided that each phase or sub-phase functions in a stand-alone condition.

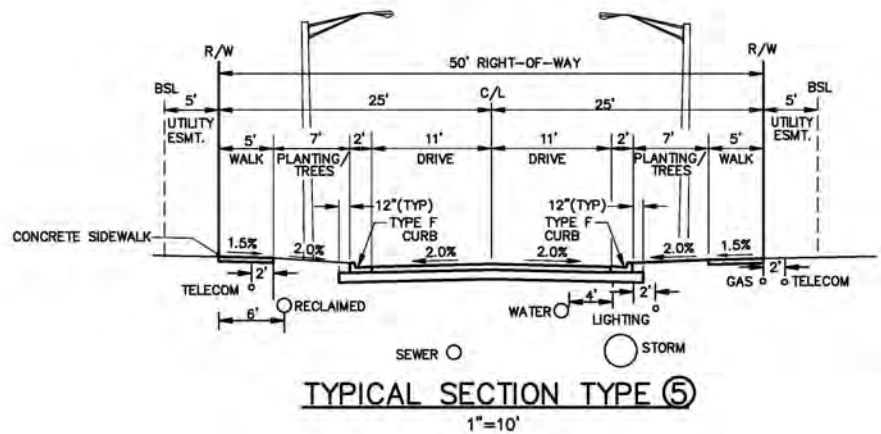
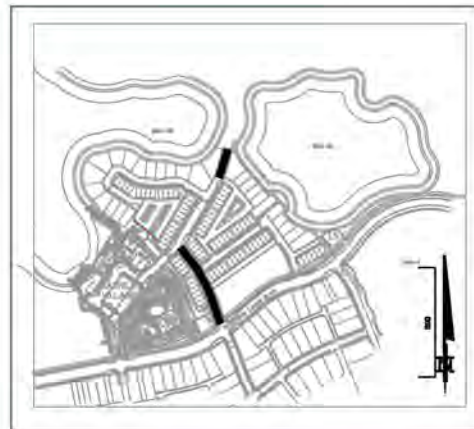
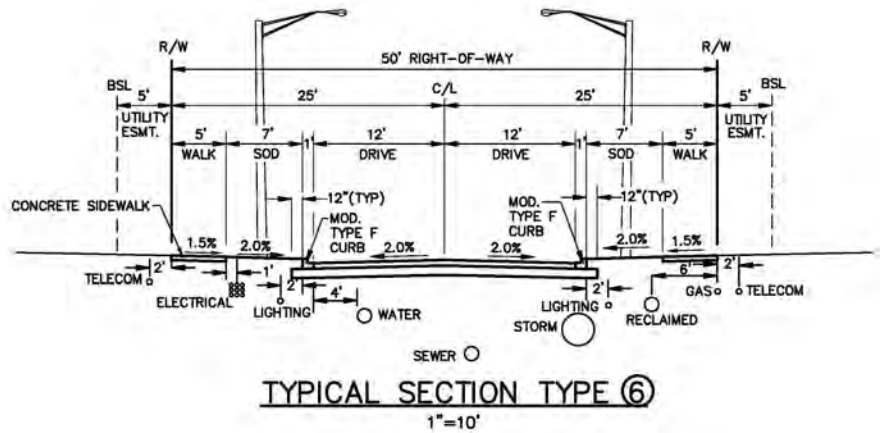
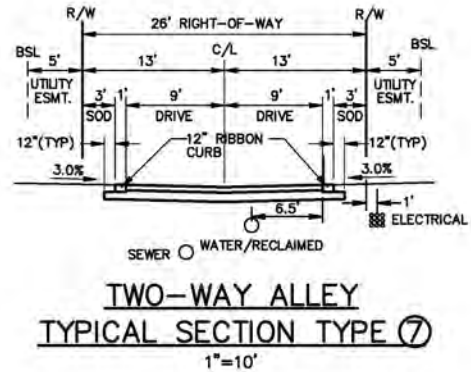
PROPOSED STREET CROSS SECTIONS

Typical Section Type 4 was updated per SETDRC approval.

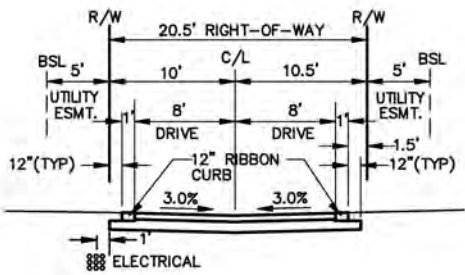
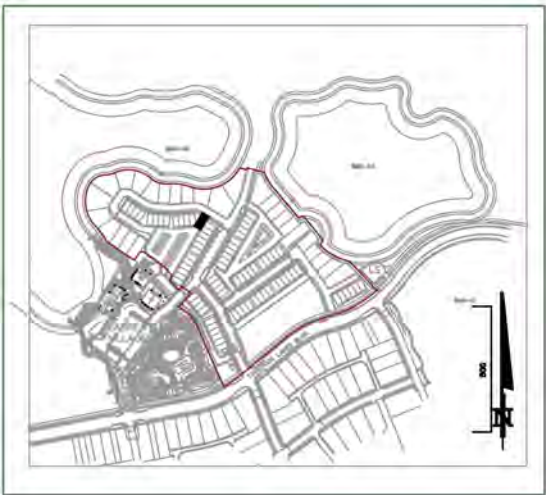


PROPOSED STREET CROSS SECTIONS

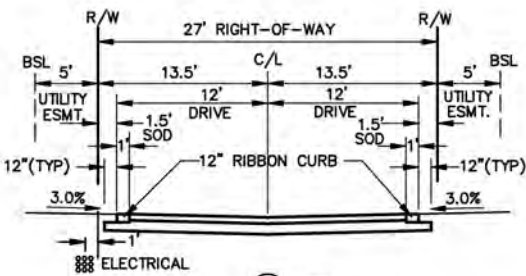
Typical Section Type 5 was updated per SETDRC approval.



PROPOSED STREET CROSS SECTIONS



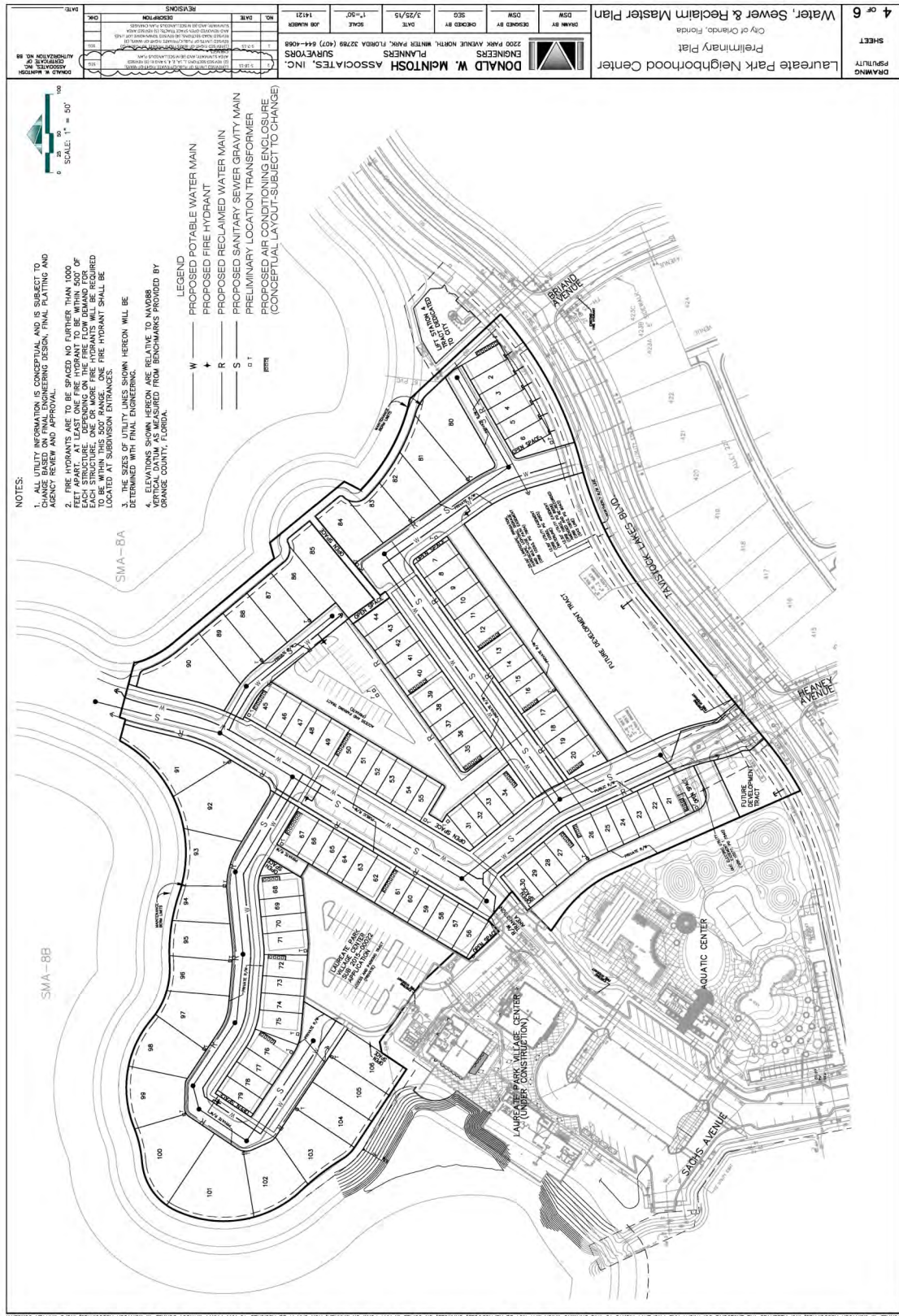
ONE-WAY ALLEY
TYPICAL SECTION TYPE ⑨
1"=10'



STORM
TWO-WAY ALLEY
TYPICAL SECTION TYPE ⑧
1"=10'

PROPOSED WATER/SEWER/RECLAIMED EXHIBIT

Updated to
show the re-
vised public
versus private
streets per
SETDRC ap-
proval

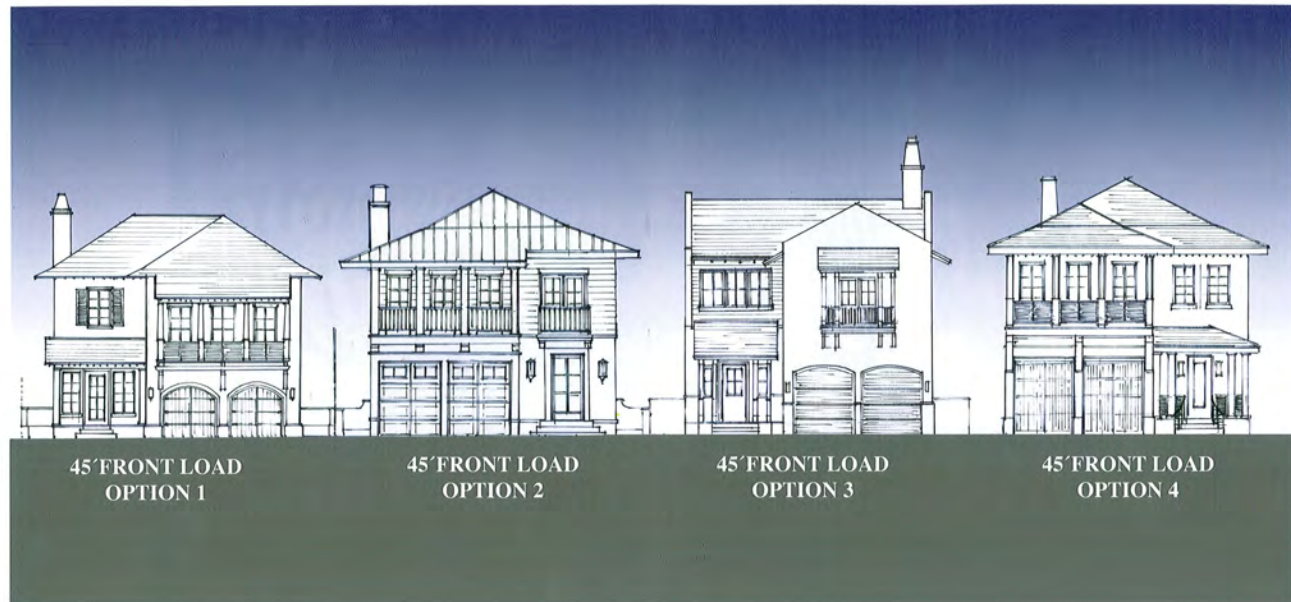


PROPOSED STORMWATER EXHIBIT

Updated to show the revised public versus private streets per SETDRC approval



PROPOSED ELEVATIONS

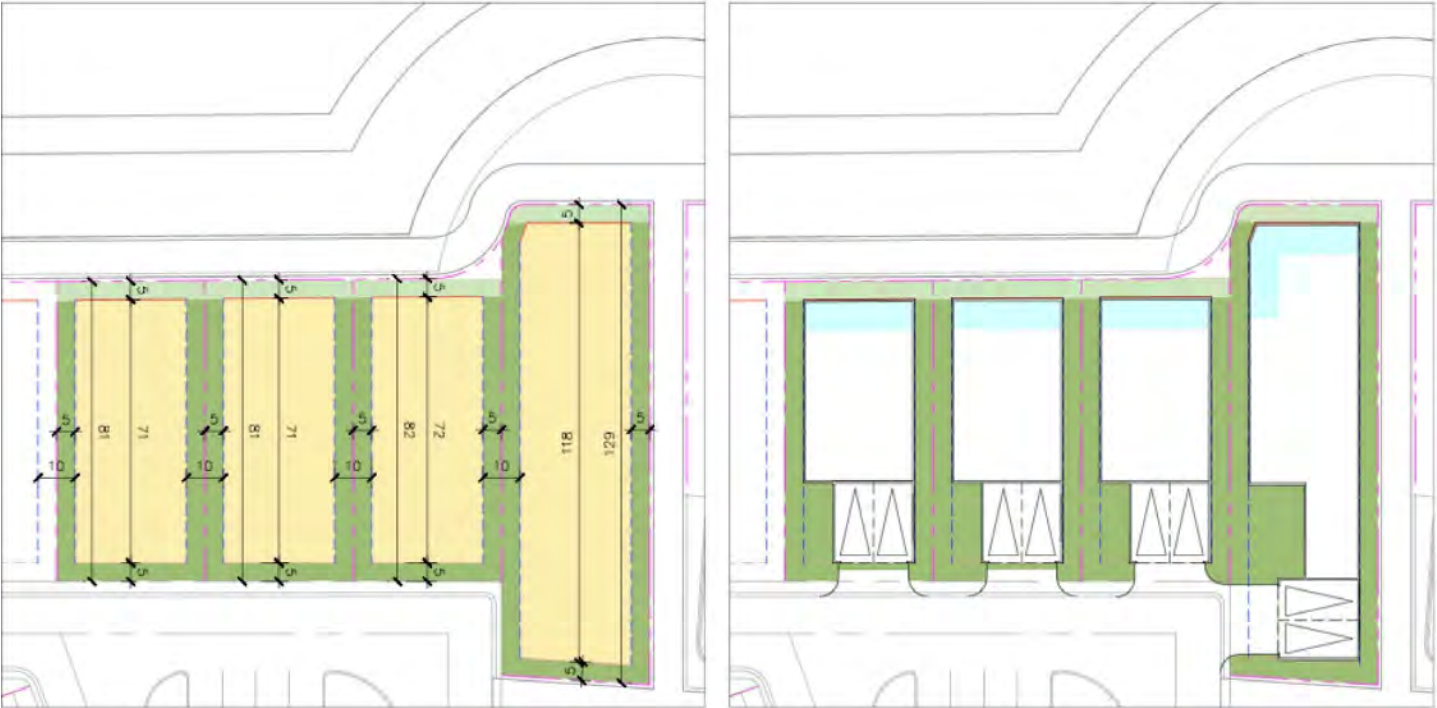


LAUREATE PARK VILLAGE CENTER:: URBAN REGULATIONS
MARCH 2015

o 407 494 1299
f 408 317 9527
121 South Orange Avenue, Suite 1200
Orlando, FL 32801
www.placealliance.com

LOT TYPE EXHIBITS

40' COTTAGE HOMES



BUILDING PLACEMENT

ZONE

REQUIREMENTS:

BUILDING SETBACKS:			
Front Setback:	5' Min.	Side Street Setback:	10' Max.
Side Setback:	5' Min.	Rear Setback:	5' Min. to alley R.O.W.

- Front Setback
- Main House Setback / Build-to Line
- Rear Setback
- Front Yard Setback
- Rear / Side Yard Setback
- Main House Structure Zone
- Facade and Porch Zone

LOT TYPE EXHIBITS

45’ COTTAGE HOMES—OPTION 1



LOT TYPE EXHIBITS

45’ COTTAGE HOMES—OPTION 2



LOT TYPE EXHIBITS

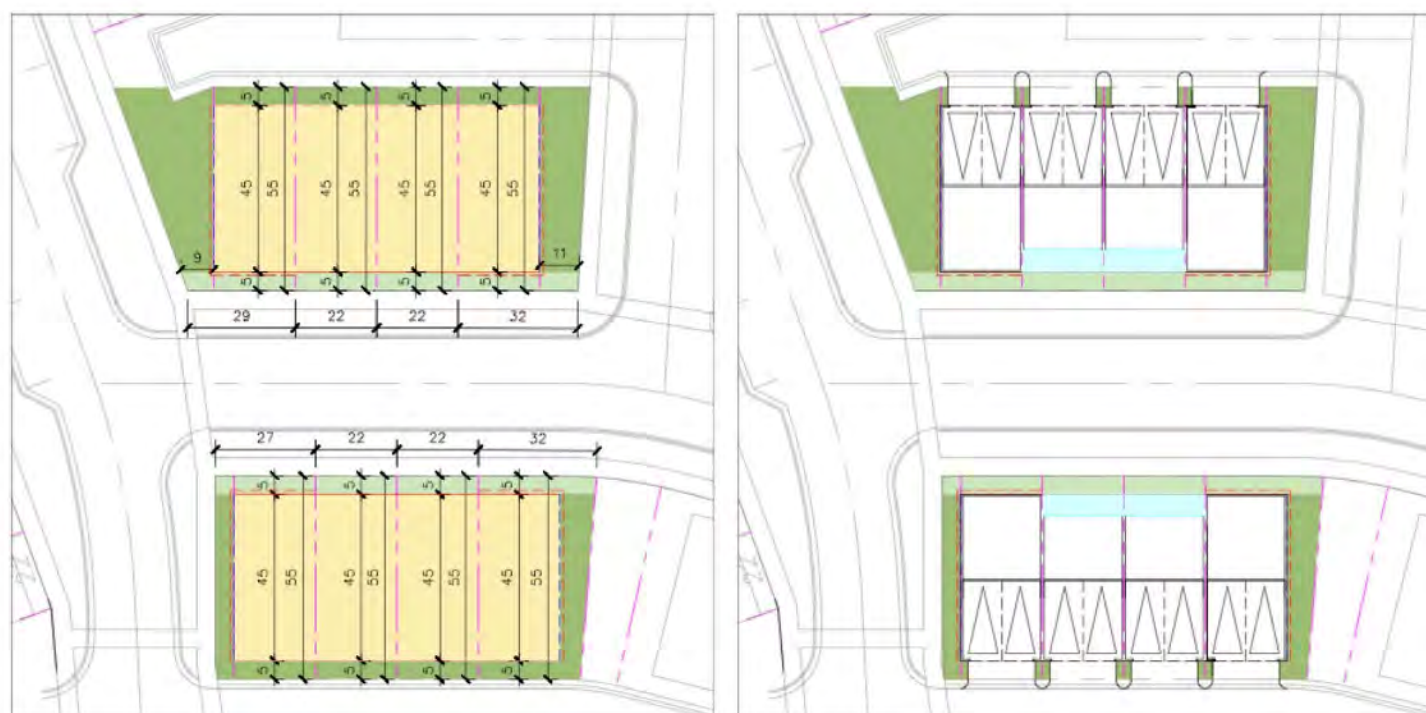
45’ COTTAGE HOMES—OPTION 3



LOT TYPE EXHIBITS

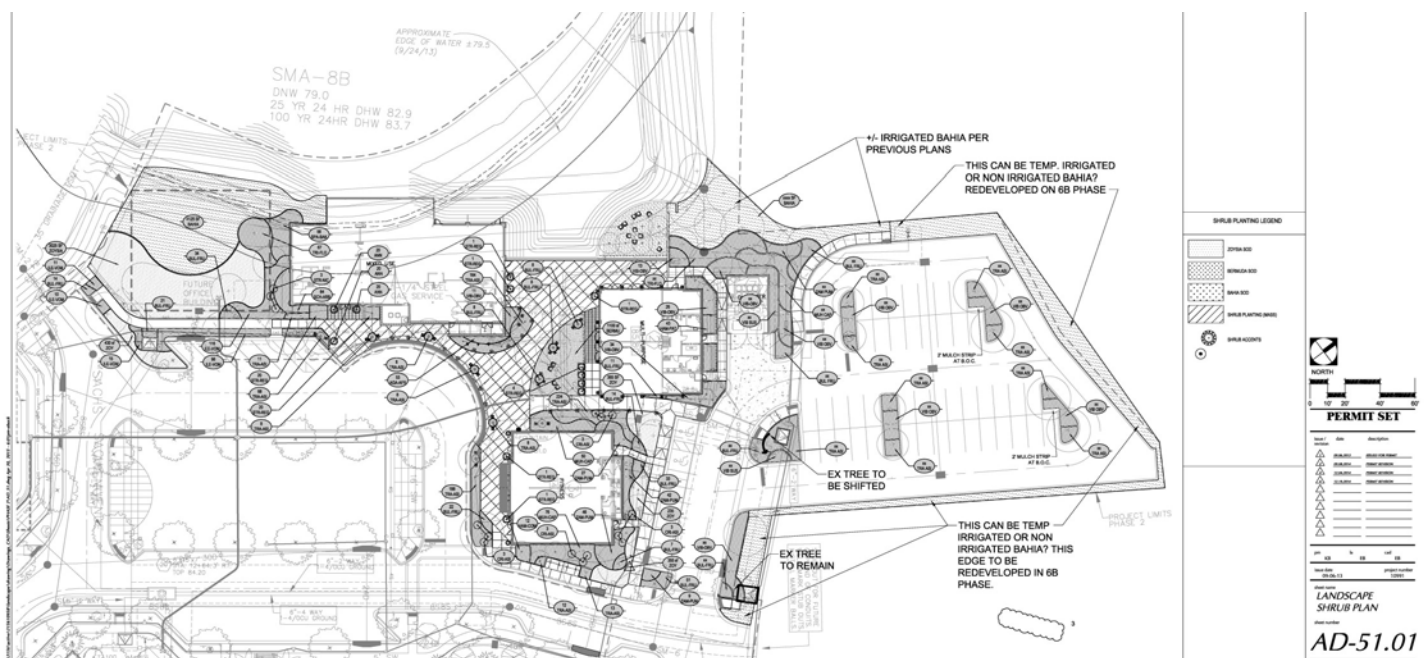
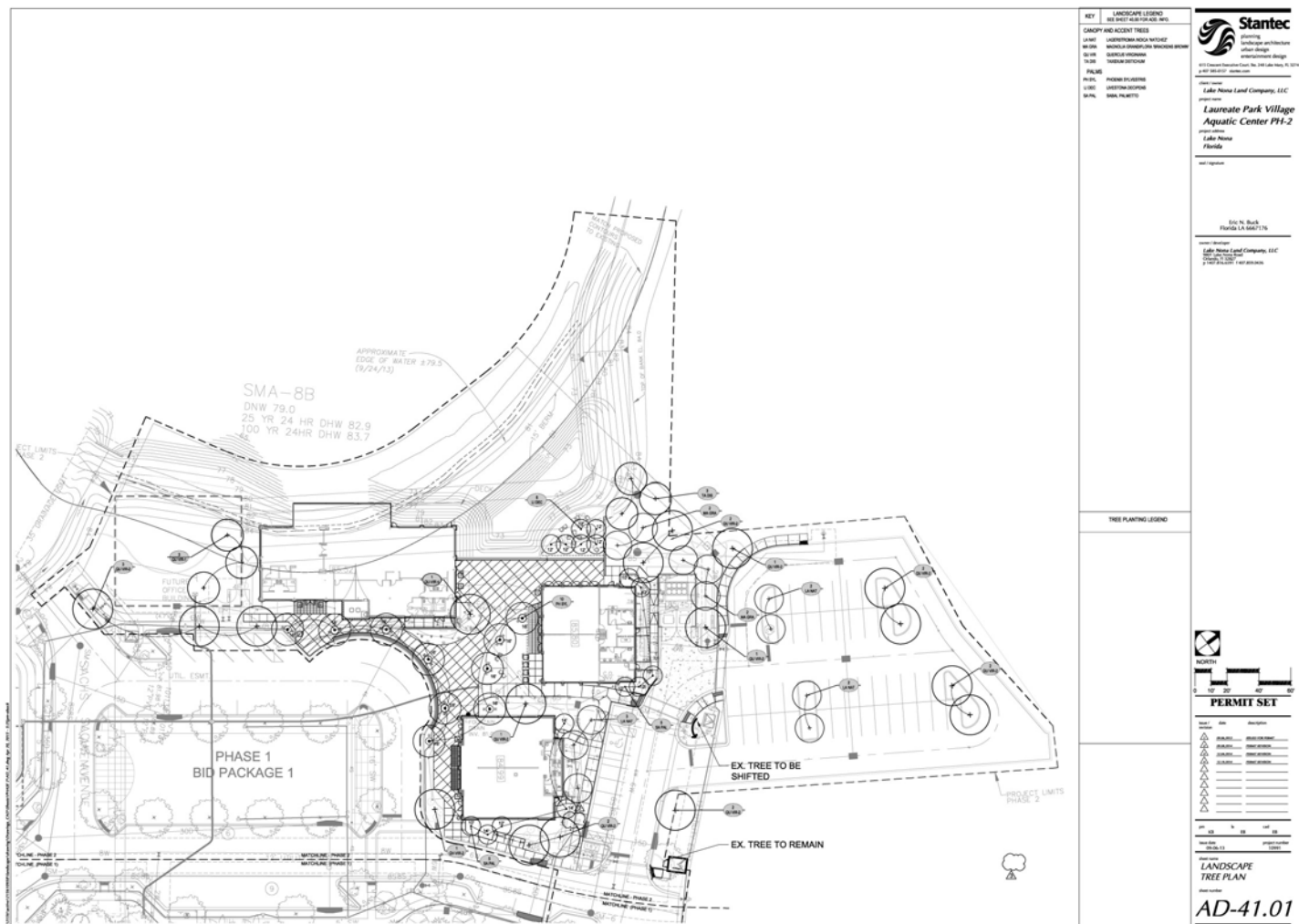
60' COTTAGE HOMES



**ZONE**

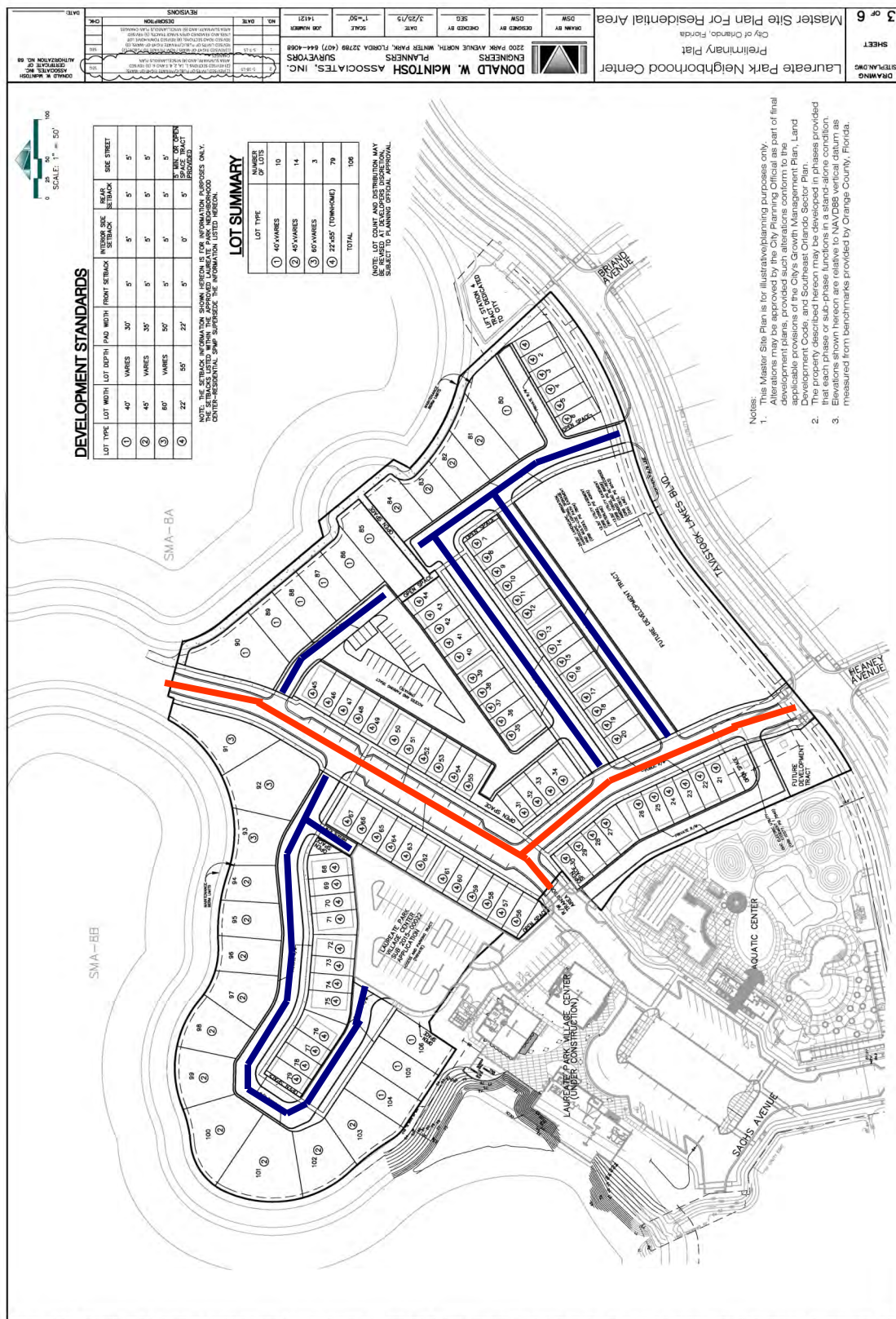
Front Setback: 5' Min. Side Street Setback: 10' Max.
Side Setback: 0'-5' Min. Rear Setback: 5' Min. to alley R.O.W.

- Front Setback
- Main House Setback / Build-to Line
- Rear Setback
- Front Yard Setback
- Rear / Side Yard Setback
- Main House Structure Zone
- Façade and Porch Zone



PRELIMINARY PLAT

Updated to show the revised public versus private streets per SETDRC approval. Private street are highlighted in blue and public streets are highlighted in red.



SITE PHOTOGRAPHS



Subject property,
on Tavistock
Lakes Blvd facing
north.



Subject property,
on Tavistock
Lakes Blvd facing
north. Phase 1
construction is
shown on the left
side of the photo-
graph



Tavistock Lakes
Blvd facing west,
the subject prop-
erty is one the
right of the photo-
graph.

FINDINGS

Subject to the conditions contained herein, the proposal is consistent with the requirements for approval of the proposed Specific Parcel Master Plan applications contained in Section 65.336 of the Land Development Code (LDC):

1. The proposal is consistent with the State Comprehensive Plan (Chapter 187, Florida Statutes).
2. The proposal is consistent with the East Central Florida Strategic Policy Plan.
3. The proposal is consistent with the provisions of Chapter 163, Part II, Florida Statutes.
4. The proposal is consistent with the objectives and policies of the City's adopted Growth Management Plan (GMP); particularly, Future Land Use Policy 2.4.4, Figure LU-1, Goal 4 and its associated objectives, policies, and figures.
5. The proposal is consistent with and implements the Southeast Orlando Sector Plan, Chapter 68 of the Land Development Code.
6. The proposal is consistent with the requirements of the Lake Nona PD.
7. The proposal is compatible with the surrounding development and neighborhood pattern.
8. The proposal will not result in demands on public facilities and services that exceed the capacity of such facilities and services since it is subject to Chapter 59 of the City Code, the Concurrency Management Ordinance.

Staff recommends approval of the Specific Parcel Master Plan subject to the conditions below:

CONDITIONS OF APPROVAL

City Planning

1. *SUBJECT TO CODES –ZONING*

Except as provided herein, the development is subject to all codes and ordinances of the State of Florida, City of Orlando, and all other applicable regulatory agencies.

2. *APPEARANCE REVIEW*

Building elevations will be subject to appearance review that is approved via a Planning Official Determination. Prior to submittal of building permits, the applicant shall submit 4 copies of a request for a Planning Official Determination that includes a site plan, landscaping plan, elevations for all four sides of each building, transparency calculations, location of dumpsters and mechanical equipment, materials used for the building, and any other information needed to demonstrate compliance with the conditions of this report and the Southeast Sector Plan.

3. *DEVELOPMENT REQUIREMENTS*

Except as modified herein, the project shall be developed in accordance with the requirements of the Growth Management Plan, Chapter 68 of the Land Development Code, the Lake Nona PD, and any other pertinent provisions of the Conventional LDC, and all previous agreements between the City and property owner.

4. *APPROVAL*

Approval of the Specific Parcel Master Plan by City Council shall grant the applicant authority to submit an application for site plan/master plan review for a building permit. The application must be submitted within thirty-six (36) months of approval of the Specific Parcel Master Plan (by the City Council) or the Master Plan shall expire. However, upon written application filed 30 days prior to the expiration date, the Planning Official may renew the Master Plan for one period of up to 12 months providing good cause is shown.

5. *POST DEVELOPMENT STUDY*

Since this project has such differing setbacks and street cross sections than the rest of the Lake Nona Development, and any development within the City of Orlando, prior to any further approvals similar designs a post development site visit shall be completed by City staff. The post development site visit will evaluate if the area is pedestrian friendly, logical to navigate and safe for vehicles and pedestrians and adequately addresses demand for parking. This will help staff determine if similar development standards can be recommended for future phases.

6. *BUILDING HEIGHT*

All residential development shall be a minimum of two stories and a maximum of three stories.

7. *Condition deleted.*

8. *FACADES*

- a. All of the lake front homes are considered to have dual front facades. The facades facing the lake shall be articulated to the same degree as the street facades.
- b. The façade and porch zones are not shown over the garage area. The garages and additional floors must be articulated to

the same degree as the façade and porch zone.

- c. Units (SF or townhomes) that have a side facing a ROW, that façade should be articulated as well.
- d. Facades and roof form requirements.
 - i. Façade articulation. The facades of all residential buildings that face an adjacent street, park, or open space shall be articulated. Articulation may include porches, bay windows and/or balconies.
 - ii. Windows. The facades of all residential buildings that face an adjacent street, park, or open space shall have windows covering at least 15% of the façade's area. The largest window or group of windows of the living room, dining room, or the family room should be full visible from the street.
 - iii. Garage door treatments. All residential garage doors visible from a street or park shall consist of articulated panels and incorporate the following features:
 - 1. Indoor living space or balcony space built over the garage with clear sight lines between the street and these spaces;
 - 2. Strong shadow lines around the garage face created by recessing the door one foot behind the adjacent building pane, and;
 - 3. For multiple car garages, limit garage doors to nine feet (9') in width with intervening posts at least one foot in width.

9. *HOUSING ELEVATIONS*

In accordance with LDC Section 68.302, each development of 100 or more homes shall have at least four (4) models with three elevations and material treatments each. While the application has a mixture of housing types, only four example elevations have been submitted for one of the housing types. The remaining elevations shall be submitted at Appearance Review, prior to submitting building permits.

10. *IMPERVIOUS SURFACE RATIO*

The narrative states the ISR will not exceed 0.85 for the entire neighborhood center. Therefore each building permit application shall provide a table displaying the current ISR and show how the neighborhood center is meeting the overall ISR.

11. *PARKING LOT*

The parking lot located adjacent to the non-residential buildings should adhere to the landscaping located on page 26. Both parking lots shall be utilize green striping and quotes/sayings in the parking lot.

12. *FUTURE DEVELOPMENT TRACT*

A SPMP application must be submitted for the specific design of the remaining 35 dwelling units allocated to the future development tract.

13. *RECORDING OF THE FINAL PLAT*

The final major plat shall be reviewed by City Planning to determine if all conditions are met prior to the recording of the plat.

14. *ACCESSORY STRUCTURES*

Since there are no rears and limited yard space, accessory structures shall be prohibited.

15. *FENCING*

Fencing, on all sides of the single family lots, shall not exceed 4 ft and shall be an approved CPTED fence which is a wrought iron or wrought iron-type fence.

16. *STREET TREES*

For any side of a street that does not contain a parkway, the applicant shall contribute to the street tree fund as described in the Information Comments section, Engineering/Zoning comment #15.

17. *PLAT*

The plat must be amended to place the open space areas in lots or tracts.

Urban Design

1. *HOA LETTERS*

HOA approval letters shall be required prior to any permits being issued for the site plan and elevations.

2. *A/C UNITS*

For the multifamily, all a/c units shall be screened with solid masonry walls, no taller than 4 feet or 6 inches above the unit, whichever is less. The single family units must adhere to Sections 58.984 and 58.985 of the Land Development Code.

3. OPEN SPACE

If the open space tracts between buildings are considered open space and a pedestrian walkway provided, no a/c units shall encroach within the tract.

4. SCREEN WALLS

- a. Screen walls shall be provided between Lot 31 and Lot 55 to screen the alley from the street. The wall shall not be located in front of the principal façade of the building on lot 55, and shall turn toward Lot 31 to screen the alley. Wall shall be solid for up to 3 feet and no more than 60% opaque up to 5 feet. Pedestrian access or gate may be provided.
- b. Screen walls shall be provided in the open spaces adjacent to Lot 67 and Lot 68 to screen the alley from the street. Wall shall be solid for up to 3 feet and no more than 60% opaque up to 5 feet.
- c. Screen wall shall be provided at the end of the street adjacent to Lot 85 and Lot 84. Wall shall be solid for up to 3 feet and no more than 60% opaque up to 5 feet.
- d. Screen wall shall be provided at the end of the street adjacent to Lot 80 and townhome Lot 1, between the alley and the pedestrian trail. Wall shall be solid for up to 3 feet and no more than 60% opaque up to 5 feet. Pedestrian access or gate may be provided.
- e. Screen wall shall be provided along the south side of the alley adjacent to the “future development tract” near lot 21 and the OUC easement to screen the alley from Tavistock Lakes Blvd and future development. Wall shall be solid for up to 3 feet and no more than 60% opaque up to 5 feet.
- f. See the Screen Wall Exhibit on Page 36 for exact locations.

5. STREET TREES

Structural soil or tree wells shall be provided along any street where space for street trees is less than 5 feet wide.

6. ON-STREET LIGHTING

On-street lighting (pedestrian scale light poles and fixtures) shall be installed. Locations shall be coordinated with street trees. Private streets and parking lots are NOT exempt from the City of Orlando Lighting Ordinance, Chapter 63.400.

7. PARKING LOT LIGHTING

Lighting within the parking lot areas shall be pedestrian scaled and meet the requirements of the City of Orlando Lighting Ordinance, Chapter 63.400.

8. UNIT ELEVATION

All units are proposed to be 5 feet setback from the street. In order to establish the public realm from the private realm, a minimum 18 inch elevation shall occur between the grade and the porch or entrance.

9. UTILITIES

All utilities, including but not limited to irrigation, electrical panels, a/c units, etc. shall not be visible from the street or located on a street side elevation. Screening requirements of LDC58.982 apply.

10. CROSSWALKS

All crosswalks at streets, alleys, and drives shall be constructed with pavers and/or textured colored concrete or similar. Elastomeric paint alone does not meet the requirement.

11. LANDSCAPING

All Landscape requirements per LDC Chapter 60 must be met. A Landscape plan for the site was not provided with the application. Single family standards apply to the cottage lots and multifamily standards apply to the townhome lots.

11. CITY HOME TOWNHOUSES

- a. Elevations were not provided of the City Homes. An Appearance Review shall be required through the Planning Official Determination prior to submitting to Permitting.
- b. A minimum 15 % transparency shall be required for each floor below the roof line on the principal facades, as well as the end unit side façades adjacent to all open spaces. End units shall have entrances facing the street. Secondary entrances may be considered on the street side elevations.
- c. A/C units are not located on the site plans. Units shall be screened with solid walls, no taller than 4 feet or 6 inches above the unit heights, whichever is less. A/C units shall not be located within designated open space or interrupting a pedestrian connection. LDC58.982 shall apply.
- d. All garage doors shall meet the garage door treatment requirements of Section 68.307.
- e. Townhouse buildings shall meet a 5' side yard setback. Proposed revised plat plan (5.11.2015) includes open space tracts as part of street side and side setbacks adjacent to Lots 7, 30, 44, 56, and 79.

11. SINGLE FAMILY UNITS

- a. A minimum 15% transparency shall be required per each floor below the roof line on all facades facing a street, alley, open space or pedestrian walkway. Garage linear length shall not be included in calculation on ground floor.
- b. Lot 85 – a detached garage shall have transparency on all facades that are visible and adjacent to pedestrian paths or alleyways.
- c. All garage doors shall meet the garage door treatment requirements per 68.307.
- d. Each SFR in this development is proposed to be a custom design. Four elevation options were provided in the application.

Transportation Planning and Engineering**1. STREETS**

All public streets, except those designated as “alleys”, shall have a minimum of 5 ft wide sidewalks on both sides for the entire length. ~~Typical sections 1A and 2 shall be amended to include sidewalks on both sides.~~

2. CURB TYPE

Modified or narrowed “F” type curb shall not be allowed on public streets but are allowed on private streets.

3. ON-STREET PARKING

On-street parking shall be allowed where sightline issues are not created and shall comply with City of Orlando Parking Code. Removal or modification of on-street parking on private streets shall be done by the responsibility of the maintaining agency.

Wastewater**1. MANHOLE LOCATIONS**

Manholes shall be located, when possible, so that service vehicles block no more than one vehicle travel lane during maintenance operations.

2. DEDICATED EASEMENTS

Publicly dedicated wastewater, reclaimed water and potable water services in private streets shall be permitted by an easement shown on the final plat.

Engineering/Zoning**1. SIDEWALK**

As per Section 61.225 of the Land Development Code, a 5 foot wide concrete sidewalk is required along all dedicated rights-of-way, except where an alternate street cross section is approved. Any existing sidewalk damaged or broken is to be repaired. Any street with a sidewalk on only one side of the ROW shall be platted as a private street.

Legal Affairs**1. TITLE OPINION/CERTIFICATION AND FINAL PLAT**

Waiting on submission of title opinion/certificate and final plat for complete review.

INFORMATIONAL COMMENTS

City Planning**1. TRANSPORTATION IMPACT FEE DISCOUNT**

Based on staff analysis, the proposed Phase 2 of the Laureate Park Neighborhood Center a Connectivity Index score of 1.45 which indicates a good level of street connectivity. These scores meet the quantitative standard for a Transportation Impact Fee discount. Based on the applicant’s site plan and building elevations, it appears that the project will meet the qualitative standards necessary to receive a Transportation Impact Fee discount. Consistent with LDC Section 68.608, and contingent upon approval by the SETDRC and City Council, staff recommends that the Planning Official issue a letter authorizing a Transportation Impact Fee Discount, to be applied to permit applications for the proposed residential development. The percentage discount shall be determined by the Transportation Planning Division.

Police**1. CPTED PRINCIPLES**

The Orlando Police Department has no objections to the requested amendment to MPL2011-00035 for the Laureate Park Neighborhood Center Phase 1 to revise building square footage and parking calculations, located in the 8500 block of Tavistock Lakes Blvd. A CPTED plan review is not applicable to this project at this time. We encourage developers and property owners to incorporate CPTED strategies in their projects. A brochure entitled Crime Prevention Through Environmental Design, Your Guide to Creating a Safe Environment, which includes crime prevention techniques for various land uses, is available by email.

Engineering/Zoning**1. INSPECTIONS**

To obtain plan review status, schedule/cancel an inspection and obtain inspection results, please call PROMPT, our Interactive Voice Response System at 407.246.4444.

2. ENGINEERING STANDARDS MANUAL

The City Council Adopted the Engineering Standards Manual (ESM), Fourth Edition, on March 9, 2009. All plans must conform to the ESM and all construction must be accomplished in accordance to the ESM.

3. ON-SITE INPECTION FEE

At the time of development, the owner/developer is required to pay an on-site inspection fee that is a percentage of the cost of the on-site improvements, excluding the building, in accordance with City Land Development Code Section 65.604.

4. ON-SITE STORMWATER SYSTEM

Stormwater management system design shall conform to the criteria outlined in the Lake Nona Developer's Agreement dated May 4, 1994.

5. NPDES

Construction activities including clearing, grading and excavating activities shall obtain an Environmental Protection Agency (EPA) National Pollution Discharge Elimination System (NPDES) permit, except: Operations that result in the disturbance of one acre total land area which are not part of a larger common plan of development or sale.

6. STORM WATER CONTROL MEASURES

Storm water control measures to minimize the impact of the erosion/sedimentation shall be incorporated in the plan of the development for all projects in the City of Orlando and a detailed description of these measures are to be included with the final engineering submittal. This is in accordance with Section 6 of the Orlando Urban Storm Water Management Manual.

7. REFUSE CONTAINER SITES

In accordance with the City Code, Section 28.6 (f) 1-3 the Office of Permitting Services is authorized to make determination of approval/disapproval of refuse container sites. Approval/disapproval of the use of commercial hand pick-up of refuse from any non-residential entity shall be determined solely by the Refuse Collection Bureau Staff.

8. CONCURRENCY-COMMITTED

Lake Nona DRI development has a Concurrency capacity committed to it. The capacity will be deducted from the Lake Nona account at the time of permitting. An Assignment of Committed Trips form is required from Lake Nona as a condition of building permit issuance.

9. PLAT

This property is required to plat in accordance with Section 65.401 of the City's Land Development Code prior to the issuance of building permits.

10. PLAT FACE CHANGES

Plat Face Changes - There are a number of changes required to the face of the plat. In addition to the changes required on the plat, the following is a list of additional requirements. 1) Changes to the face of the plat.(A copy has already been returned to the surveyor). 2) Recording Fees (Checks should be made payable Orange County Comptroller.) 3) The plat must be reviewed by Orange County prior to recording. Begin this process by taking a copy of the executed plat to Room 1700 (Orange County Property Appraiser's Office, Attn. Rocco Campanale), 200 S. Orange Avenue, Sun Trust Bank Center. The original completed Statement of Lien from Orange County is required by this office. The Statement of Lien must be received by this office prior to recording the plat.

11. FINAL RECORDED PLAT

- a. The final recorded plat shall contain the following note:"Development on the property depicted on this plat is subject to the requirements of Chapter 59, the Concurrency Management Ordinance of the City of Orlando, which governs the City's ability to issue building permits on this property. Approval of this application shall not be deemed to provide any vested rights, except as to those matters depicted hereon, that are consistent with the requirements of Chapter 177, Florida Statutes, or were required by the City of Orlando as a condition of platting."
- b. At the time of final plat submittal, the following is required:
 - i. Blue or Black line copy of the Plat signed and sealed by the surveyor
 - ii. Certificate of Title or Title Opinion (A title insurance policy is not acceptable.) Refer to Florida Statutes 177.041

- for additional information.
- iii. Initial 2 percent inspection fee (based on estimated cost of the improvements. An itemized cost estimate is to be submitted to this office for approval.
- iv. Six sets of approvable construction plans.
- v. Performance Bond - 110 percent of the cost of the improvements. The form is available in Engineering.
- vi. Joinder and Consent to Plat - If there is a mortgage on the property, a joinder and consent to plat document is required from each mortgage holder. The document is recorded with the plat. Refer to Florida Statute 177.081 for additional information.
- vii. The plat must be reviewed by Orange County prior to recording. Begin this process by taking a copy of the executed plat to Room 1700 (Orange County Property Appraiser's Office, Attn. Rocco Campanale), 200 S. Orange Avenue, Sun Trust Bank Center. A copy of the completed Statement of Lien from Orange County is required by this office. The original Statement of Lien must be delivered to this office prior to recording the plat.

12. *SEWER-FDEP*

This project requires a Florida Department of Environmental Protection (FDEP) permit for the sanitary sewer system. The Office of Permitting Services processes the permit for projects with reserved sewer capacity. At the time of FDEP permit submittal to the Office of Permitting Services, the following is required:

1. Permit Application - signed/sealed by the owner. This Office will complete page 10 of 11 when the construction plans are approved.
2. Construction Plans - six sets, signed/sealed by the engineer. The plans are to include the on-site and off-site sewer design together with the City's details. If a lift station is part of the sewer design, the engineer is to submit the shop drawings for the lift station (private or public).

The construction plans are reviewed by the City of Orlando's Waste Water Bureau and returned to the Office of Permitting Services when approved. This Office will contact the engineer to pick up the application and two sets of the approved plans or the transport to FDEP. The remaining sets will be retained by the Office for distribution. Reminder: PLEASE ALLOW 3-4 WEEKS FOR THIS PROCESS

13. *SEWER-PRIVATE*

The owner/developer should contact this office relative to filing an application for the proposed development in accordance with the City of Orlando Sewer Service Policy. A straight lateral connection to each lot is required. The construction of the system is at the owner/developer expense and the maintenance of the system is the responsibility of the property owner (s) being serviced. This is in accordance with the City of Orlando Sewer Service Policy.

14. *STREET NAME*

The proposed name of the new street shall be submitted to the Engineering Bureau for review for duplication of established street names, same sounding name, type of spelling, etc., in accordance with the City Land Development Code, Sections 58.64c34 (b) and 58.3122.

15. *STREET TREES*

The Orlando City Council approved a Resolution at the January 27, 1997 City Council Meeting. Section 61.226 of the City's Land Development Code provides for a Street Tree Trust Fund. The developer is responsible for the installation of street trees prior to final of the building permit. The Street Tree specifications are 12'-14' height of canopy tree

16. *WATER QUALITY*

For redevelopment - Provide water quality for areas where there is alteration of surface drainage or change of drainage patterns. Refer to website, Engineering Standards Manual, Chapter 7.01B.

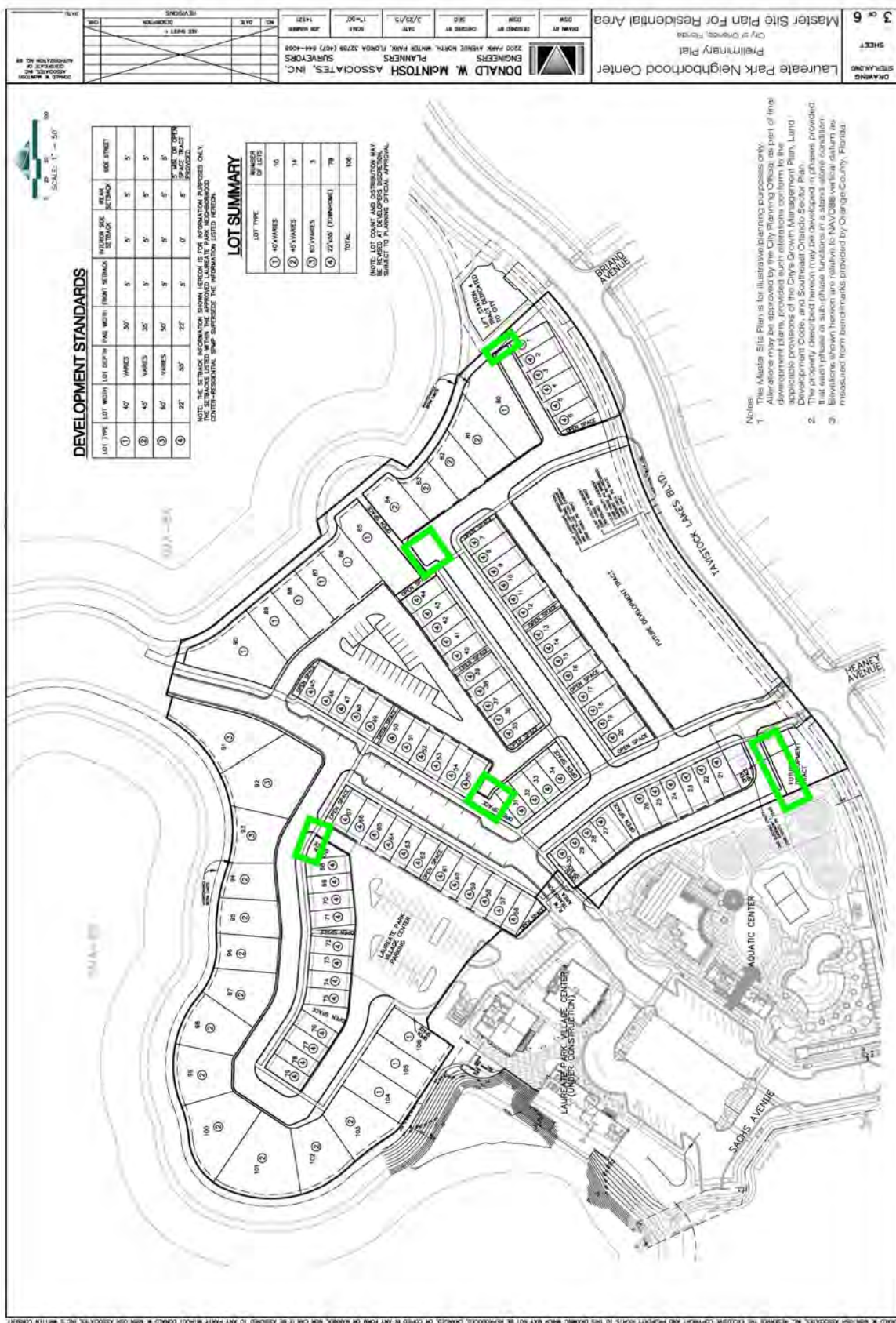
17. *TREES*

A Tree Encroachment / removal permit prior to encroaching within 6' of or removing any existing 4" caliper or larger tree as per Orlando Land Development Code, Section 60.211 may be required for this location. Contact the Bureau of Parks at (407) 246-2283. A copy of this permit must be submitted to Permitting Services for review prior to a building or engineering permit being issued.

SETDRC Board

1. No streets, public or private, shall be gated.

SCREEN WALL EXHIBIT



CONTACT INFORMATION

City Planning

For questions regarding City Planning review, please contact Michelle Beamon at 407.246.3145 or michelle.beamon@cityoforlando.net.

Urban Design

For questions regarding Urban Design plan review, please contact Holly Stenger, at 407.246.2861 or holly.stenger@cityoforlando.net

Transportation Planning

For questions regarding Transportation Planning plan review, please contact John Rhoades at 407.246.2293 or john.rhoades@cityoforlando.net.

Transportation Engineering

For questions regarding Transportation Engineering plan review, please contact Lauren Torres at 407.246.3220 or lauren.torres@cityoforlando.net.

Engineering/Zoning

For questions regarding Engineering or Zoning contact John Groenendaal at (407)246-3437 or john.groenendaal@cityoforlando.net.

Police

For questions regarding Orlando Police Department plan review, please contact Audra Nordaby at 407.246.2454 or Audra.Nordaby@cityoforlando.net.

Wastewater

For questions regarding Wastewater review, please contact David Breitrick at 407.246.3525 or at david.breitrick@cityoforlando.net.

REVIEW/APPROVAL PROCESS—NEXT STEPS

1. SETDRC minutes scheduled for review and approval by City Council.
2. Appearance Review by the Urban Design staff.
3. Building permits.