

Appearance Review Board Staff Report

September 15, 2022

Case Number

ARB2022-10046

Applicant

Brooks Stickler, Kimley-Horn and Associates

Owner

Multiple Owners-see application.

Requested Action

Request for a certificate of appearance approval for a 33 story mixed used building.

Recommendation

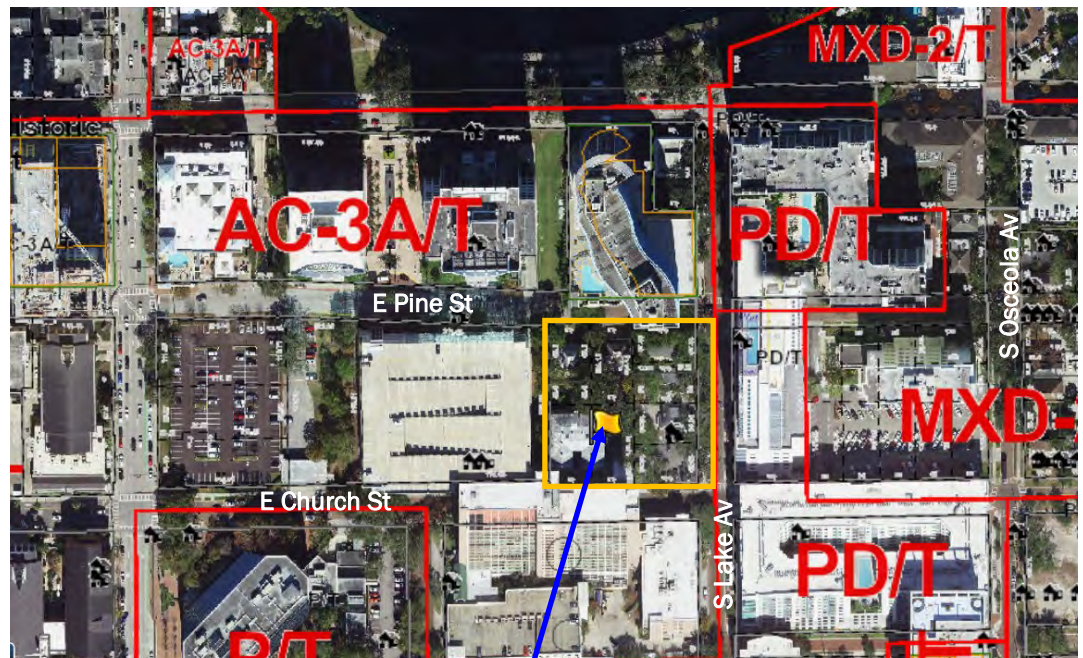
Approval of the request subject to the conditions in the staff report

Project Planner

Richard Forbes, AIA



Pine and Lake Mixed Use Tower 319 E Church St. Final Review



Aerial Photograph **Subject Property**



Summary

Project Description

A Final Review of a 33-story mixed use building (residential, hotel, commercial) and integral parking garage with 129 dwelling units, 228 hotel keys, ballroom, meeting space and 741 parking spaces.

Project Background

- Commission District 4
- Site includes 7 parcels zoned AC-3A/T and is approximately 1.5 acres.
- There are 5 unprotected historic resources on the site.
- Project received a courtesy review at the August 2020 ARB meeting (ARB2020-10039)

- Applicant has received approval for the master plan at the September 15, 2020 Municipal Planning Board meeting (MPL2020-10058). And additional approval through determination (DET2022-10098).

Public Notice

A placard advertising this ARB meeting was posted at the subject property; as of September 8, 2022, no inquiries or comments have been received regarding this application.

Project Overview

The subject property is located south of East Pine Street, West of Lake Avenue and north of East Church Street and is comprised of 7 parcels totaling approximately 1.5 acres. The parcel ID's are 29-22-25-1940-00-151, 160, 170, 181, 190, 200, 210. The parcels are zoned AC-3A/T. The Waverly apartments are to the north, The Paramount to the north east, Cititower to the east, 420 East Church Street to the south east and Orlando Lutheran Towers to the south. To the west is a multi story parking garage that includes a strip of land containing vegetation and walkways.

The parcels currently contain 5 unprotected historic resources including a 3 story, 44 unit apartment building from 1922, 3 houses dating from 1910 to 1925 that have been converted to offices, a 1923 commercial building and associated parking areas. One tree on Lake Avenue and one tree on Church Street are proposed to be preserved within the streetscape. If these trees are not able to be preserved then streetscape redesign including additional street trees will be required.

The applicant is requesting a Final Review from the ARB for a mixed use 33-story building to include residential, hotel, commercial and conference uses with 129 dwelling units and 228 hotel rooms as well as a 741 space parking garage. The applicant has received approval for a Master Plan for the development that was reviewed at the September 15, 2020 Municipal Planning Board meeting (MPL2020-10058). A subsequent determination was issued relating to use and height changes (DET2022-10098).

The entrance to the conference center is on Church, hotel on Lake and condominium on Pine. There are restaurants on the northeast and southeast corners as well as service areas and garage access points. The upper floors are divided vertically into 3 distinct sections. The base is formed by the lobbies, restaurants, integral parking garage, rooftop amenities and conference spaces. The base roof contains gym and pool on level 9, the level above the ballroom now has an outdoor garden with glass chapel feature. A 'T' shaped curved tower rises from the base with the hotel on levels 10-16 and residences on levels 19-32. The hotel forms a plain shaft and then the residences above are articulated with balconies. The uppermost roof level has outdoor space as well as the sky club and penthouse.

The design uses a glass curtain wall system combining vision glass and spandrel glass that covers the structure of the tower along with monolithic glass balcony railings. The podium has curtain wall and fritted glass fins at the conference entrance. The vision and spandrel are adjacent on the façade and create vertical stripes in the hotel section. Metalwork is noted to have silver finish.

East Pine Street forms the northern edge of the site and at this point the street right of way is narrow. A dedicated cycle track is planned for the south Site of Pine Street and the new development must accommodate these plans. A 15 foot streetscape is needed on Pine and plans show that generally there is 15 feet except for a minimal pinch point at the western and eastern edges of the site where the building extends over approximately a foot into the required area at 21 feet above the sidewalk. The canopy shown on Pine Street extends far into the travel lane and appears to offer little protection.

The west façade of the podium is on the property line and is a solid wall. Material from the north façade wraps around onto the west façade and will provide visual interest in this visible area. It is unclear how the treatment on the southwest corner will provide similar interest. Much of the parking garage is screened because there are occupied spaces lining it and the west podium wall is solid. In areas where there are openings to the garage, metal mesh screening is proposed and it is unclear how much screening will be provided by the treatment.

At the courtesy review, the proposed art work was required to be presented as part of the final review. The artwork must come back for additional major review. The glass chapel feature shown on the roof will also need additional major review.

Staff design concerns at the Courtesy Review were:

Condo entrance canopy may not provide enough protection.

Garage Screening. It is unclear at this stage how much screening the perforated metal garage material will provide to limit the view of vehicles and lights.

Glass. Clarity of glass as renderings show a very transparent vision. Design includes vision and spandrel glass adjacent to one another. Show mockup for final review.

West elevation of podium on south edge at Church Street.

Venting/Exhaust. Not clear where venting is routed.

Protection of existing trees on Lake Avenue and East Church Street.

Mechanical Levels 17-18- this area is clad in a metallic finish fiber cement product and needs clarification on how that will mesh with other materials.

The building is well designed and staff is in support of the project subject to the conditions in the staff report.

ARB Staff Conditions of Approval

1. ARB Approval

- A. Minor modifications to this ARB approval will require additional ARB staff review and approval. Major modifications may require additional ARB board approvals.
- B. ARB approval does not grant permission to construct and/or install. All necessary permits must be obtained prior to commencement of construction activity.

2. Transparency: The ground floor building walls facing all streets shall contain a minimum of 30% of transparent materials. A minimum of 15% transparency shall be provided on all floors facing the street above the ground level. All glass at the ground level shall be clear. Minimum light transmittance shall be 80%. High performance or low-e glass may be considered as an alternative with a minimum transmittance of 60%. No windows shall be dry-walled, or have permanent partitions installed on the interior to block natural surveillance. Tinted, reflective, or spandrel glass is not permitted.

3. Streetscape:

- a. East Pine Street requires a modified 15 foot wide treatment 4 with paving to back of curb. Street Trees – High-rise or cathedral live oaks shall be used as canopy trees where applicable. East Pine Street must also accommodate the future cycle track that will be located on the south side of Pine Street. Modifications to the Pine Street Streetscape shall require additional staff review.
- b. South Lake Avenue requires a 15 foot wide modified treatment 4 with paving to back of curb. The goal is to retain at least one of the existing street trees that are currently located in the right of way. New street trees shall be High-rise or cathedral live oaks. If the existing Lake Avenue tree is unable to be retained then additional street trees are required and will require additional staff review.
- c. East Church Street requires a 15 foot wide modified treatment 4 with paving to back of curb. The goal is to retain one of the existing street trees that are currently located in the right of way. If the existing Church Street tree is unable to be retained then additional street trees are required and will require additional staff review. New street trees shall be High-rise or cathedral live oaks.
- d. Structural Soil – To minimize root damage to adjacent pavement areas structural soil or an approved equivalent shall be installed around all canopy street trees consistent with Detail 3.4-O and 3.4-P of the Downtown Streetscape Guidelines.
- e. Street Lights – Double acorn streetlights consistent with the Downtown Streetscape Design Guidelines shall be used on all streets and spaced based on the OUC lighting requirements. The street lights shall be located no closer than 2-feet to any sidewalk connections to the on-street parking areas or intersection hardscape.
- f. Pedestrian Paths – Sidewalks and streetscape on all streets shall be constructed based on the requirements for Streetscape Treatment 4 of the Downtown Streetscape Design Guidelines. All cells in the sidewalk will be finished with 2"-3" troweled edges and a medium broom finish that is perpendicular to the centerline of the street consistent with Treatment 4 of the Downtown Streetscape Design Guidelines. Intersection corner treatments and on-street parking spaces shall be Lawrenceville brick and installed according to the guidelines for Downtown Streetscape Treatment 4.
- g. Corner treatments shall provide two accessibility ramps at each corner perpendicular to the centerline.
- h. The pedestrian crossing at the loading zone entry and garage entry and exit shall be raised to be at same grade as the sidewalk adjacent to the driveway in order to clearly define the pedestrian area. The crosswalk surface shall be Lawrenceville brick. Reflective paint alone is not acceptable, however may be used in conjunction with pavers or other surface to outline the pedestrian path for night time safety. The mid-block curb cuts into the garage shall meet the mid-block curb cut standard in the Downtown Streetscape Guidelines.
- i. Valve and Junction Boxes—All at grade junction, valve and control boxes shall be traffic bearing grade boxes and lids.

3. Principal Entrances. Each use enters on a separate façade and each entry has a special canopy. The canopies shall meet LDC 61.204 and not project closer than 24 inches from the back of curb or create a rain runoff issue onto the sidewalk.

4. Art. Art—the art work proposed for the south and north entry areas shall be presented as part of an additional ARB Minor Review.

5. Parking Garage:

- a) The parking garage podium shall have a solid opaque wall 42 inches high at all parking levels to block vehicle views. The parking garage shall be articulated architecturally on all elevations, and designed to achieve an architectural unity with the remainder of the building by reflecting the character, scale and massing of the occupied spaces of the building. Garage screening shall limit views into the garage. The metal screening shall have additional staff review to determine how effective the screening will be.
- b) Garage lighting shall be shielded from view.
- c) Angled exterior ramping shall not be visible from the right-of-way and shall be obscured from view through the use of exterior metal screening, or other alternative methods.
- d) The slope of the grade preceding the exit of a parking garage shall not exceed 2% for a minimum of 25 feet.
- e) Finished screening material shall wrap around from the Church Street façade onto the west wall of the garage a minimum of 20 feet.

6. Materials. Physical samples of the materials shall be provided to staff for approval prior to permits.

7. Pedestrian Scale Detailing. A durable stone, cast stone, pre-cast concrete, or such other material that may be deemed appropriate and durable by the Appearance Review Officer, shall be utilized along the base of the building, except where storefront glass is provided.

8. Existing Buildings on Site. There are five unprotected historic resources on site. Update the existing Florida Master Site Files (FMSF) with the State Division of Historical Resources (Copy to Orlando Historic Preservation Office) to include demolition date and recent photographs. Resources on site are 316 E Pine St (FMSF-OR00105), 108 S Lake Av (FMSF-OR03346), 111 S Lake Av (FMSF-OR03347), 319 E Church St (FMSF-OR3348), 323 E Church St (FMSF-OR3349).

9. Existing Trees on Site. There are multiple large canopy trees on this site and within the ROW. These trees shall remain, at minimum, until such time as a building permit has been issued for the foundation of the building and construction commences.

ARB Staff Conditions of Approval

10. **Exterior Solid Doors.** Security view panels shall be provided in all exterior solid doors to provide visibility for pedestrians exiting, including emergency exit doors.
11. **Service Area/Utilities.** All utilities, trash disposal pick-up, and other maintenance facilities shall be located on the interior of the parking garage, and not adjacent to the pedestrian sidewalks. All utilities must be screened from view.
12. **Venting & Exhaust.** All potential restaurant venting and restaurant exhaust shall be directed to the roof of the building and shall not be visible from the public right-of-way. Restaurant venting is not permitted on any façade of the building. All other venting and exhaust for mechanical and utilities shall be a minimum of 10 ft. above grade and shall be integrated with the building design so as to be seamless with the overall architecture of the building.
13. **Mechanical Equipment.** All mechanical equipment shall be screened and meet the conditions of the LDC.
14. **Backflow Preventer.** Backflow preventer[s] shall be located so as to not be directly visible from the right-of-way and should be screened from view where necessary. They shall be clearly identified on the final site plan.
15. **Fencing.** Any fencing on the site shall be an open, CPTED-approved fence, such as aluminum or wrought-iron picket fencing. Chain link fencing is prohibited.
16. **Signage.** A Master Sign Plan including both the residential, hotel and retail signage at the ground level shall be provided and reviewed as a separate ARB review prior to the issuance of building permits for exterior signage. It shall clearly show how signage will be allocated between the tenants and the site as a whole and provide placeholders for locations of proposed signage. High-rise signs are permitted where consistent with Sec. 64.246 of the Land Development Code but will require an ARB Major Review prior to permitting.
17. **Sustainable design and construction methods.** Water conservation, energy conservation, and low-maintenance landscape design are strongly encouraged.
18. **Telecommunications Equipment Screening.** Buildings shall be designed to accommodate future placement of telecommunications equipment. Recommend screening areas be built into rooftop areas so that the placement and screening of the equipment does not become an afterthought.

Site Photos



View of adjacent parking garage at northwest corner of site



View Looking East Along Pine St

Site Photos



View Looking South at Northeast corner of site



View Looking South Along Lake Avenue

Site Photos



View Looking at West side of Lake Avenue



View of Southeast Corner of Site at Church and Lake

Site Photos

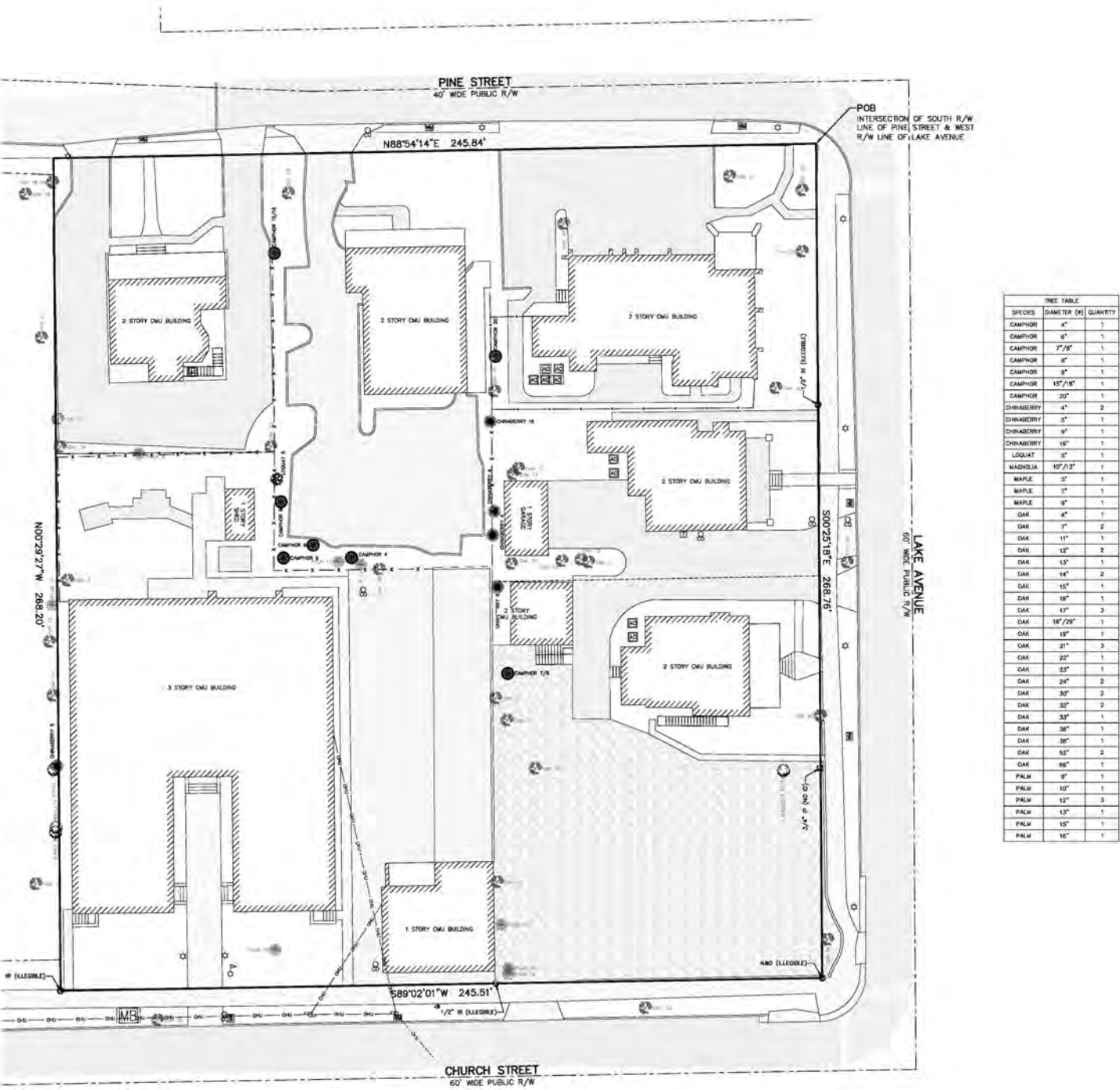


View Looking West Along Church Street

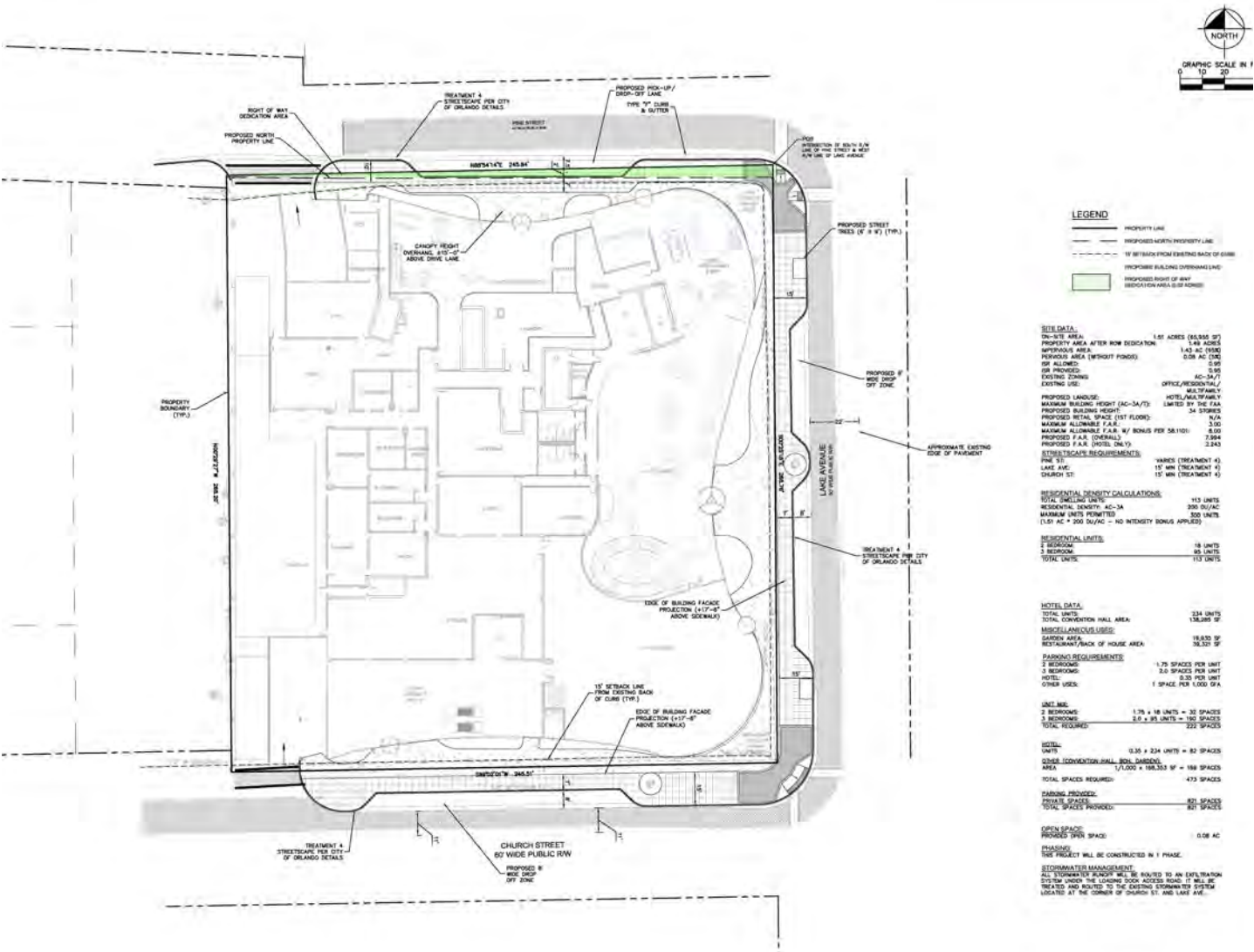


View of Existing Building on Church Street

Existing Survey and Tree Survey



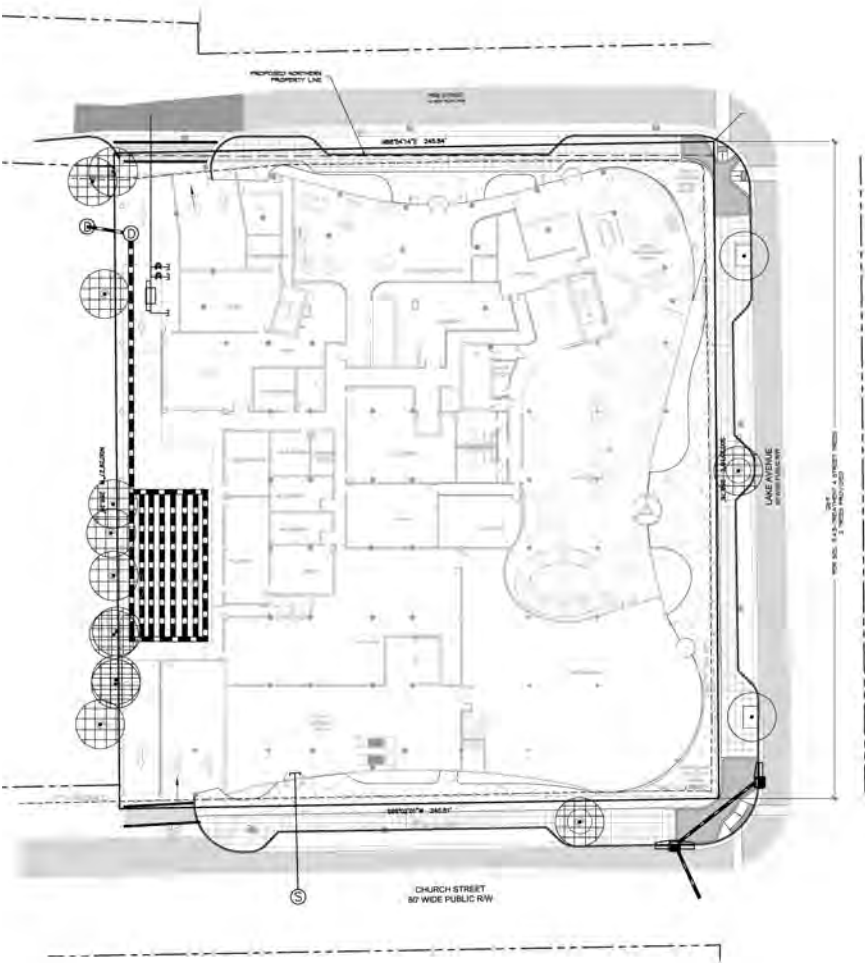
Conceptual Site Plan



Drainage Plan



Landscape Plan



PLANT SCHEDULE

NO.	QTY	SIZE	COMMON NAME	COMMON NAME	COMMON NAME	COMMON NAME	COMMON NAME
1	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
2	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
3	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
4	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
5	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
6	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
7	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
8	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
9	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
10	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
11	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
12	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
13	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
14	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
15	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
16	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
17	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
18	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
19	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE
20	1	12"	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE	SPRING TREE

LANDSCAPE NOTES

1. ALL LANDSCAPE MATERIAL TO BE FLORIDA GRADE A OR BETTER QUALITY.
2. ALL LANDSCAPE MATERIALS ARE TO BE DELIVERED TO THE SITE WITHIN 14 DAYS OF THE START DATE.
3. ALL PLANT MATERIALS SHALL BE DELIVERED TO THE SITE WITHIN 14 DAYS OF THE START DATE.
4. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE BUNDLED OR SPACED AS SHOWN IN THE DETAILS.
6. ALL PLANTING AREAS SHALL BE COMPLETED - HEDGES AND SPECIES.
7. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL ABOVEGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN IN THE PLANS ARE BASED ON THE MOST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITIES AND ADJACENT TO THE PLANTING AREAS IS TO PROTECT OF ALL UTILITIES DURING THE CONSTRUCTION PERIOD TO REPAIR ANY AND ALL DAMAGE TO UTILITIES STRUCTURES, SITE IMPROVEMENTS, ETC. HIGH LOCATIONS ARE A RESULT OF THE CONTRACTOR'S NEGLIGENCE OR CARELESSNESS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SHADINGS SHOWN ON THESE PLANS BEFORE BEGINNING THE WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY, STORAGE, AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANT MATERIALS (INCLUDING BUT NOT LIMITED TO: WATERING, SPRINKLER, MULCHING, PRUNING, ETC.) ALL OF THE PLANT MATERIALS AND LIVES FOR THE REMAINDER PERIOD ANY PLANT MATERIALS WHICH IS DAMAGED, COMPRESSED, DEAD, OR DEFECTIVE PRIOR TO SUBSTANTIAL COMPLETION SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIALS OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
11. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIALS FOR ONE YEAR PERIOD. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
12. STANDARDS SET FORTH IN SUBSEQUENT STANDARDS FOR LANDSCAPE ARCHITECTURE SHALL BE CONSIDERED AS A MINIMUM. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND LANDSCAPE PRACTICES AND SHALL BE FLORIDA GRADE A OR BETTER AS NOTED IN SPECIFICATIONS AND STANDARDS FOR LANDSCAPE PLANTS, PARTS 1 AND 2, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
13. ALL TREES TO BE PLANTED SHALL BE PROTECTED FROM DAMAGE TO ADJACENT EXISTING TREES.
14. ALL TREES TO BE PLANTED SHALL BE PROTECTED FROM DAMAGE TO ADJACENT EXISTING TREES.
15. ALL LANDSCAPE MATERIALS SHALL BE PROVIDED WITH PERMANENT IDENTIFICATION SYSTEM.
16. TREE SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED (AS APPROVED BY THE LANDSCAPE ARCHITECT).
17. ALL PLANT MATERIALS ARE TO BE PROVIDED IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROVIDE PLANT MATERIALS AND SPECIES AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.

REQUIRED LANDSCAPE / STREETSCAPE CONDITIONS OR LANDSCAPE ARCHITECTURE

LANDSCAPE ARCHITECTURE

- 1. REQUIREMENT 4 - PRIMARY PERSEPHONE STREET
- 2. 12" TREE PLANTED WITH TREE HELLO
- 3. 12" TREE PLANTED WITH TREE HELLO
- 4. 12" TREE PLANTED WITH TREE HELLO
- 5. 12" TREE PLANTED WITH TREE HELLO
- 6. 12" TREE PLANTED WITH TREE HELLO
- 7. 12" TREE PLANTED WITH TREE HELLO
- 8. 12" TREE PLANTED WITH TREE HELLO
- 9. 12" TREE PLANTED WITH TREE HELLO
- 10. 12" TREE PLANTED WITH TREE HELLO
- 11. 12" TREE PLANTED WITH TREE HELLO
- 12. 12" TREE PLANTED WITH TREE HELLO
- 13. 12" TREE PLANTED WITH TREE HELLO
- 14. 12" TREE PLANTED WITH TREE HELLO
- 15. 12" TREE PLANTED WITH TREE HELLO
- 16. 12" TREE PLANTED WITH TREE HELLO
- 17. 12" TREE PLANTED WITH TREE HELLO
- 18. 12" TREE PLANTED WITH TREE HELLO
- 19. 12" TREE PLANTED WITH TREE HELLO
- 20. 12" TREE PLANTED WITH TREE HELLO

CONCEPT PLANT SELECTION

- 1. BLENDED VIBRANT HIGH RISE / SOUTHERN LIVE OAK
- 2. ALER NERBY FLORIDA PLANT / FLORIDA PLANT RED MAPLE
- 3. FANGLIA BRANDED FLORIDA BRANDED BRANDED BRANDED / SOUTHERN FANGLIA
- 4. ALER FANGLIA BRANDED / BRANDED BRANDED
- 5. FANGLIA BRANDED / BRANDED BRANDED
- 6. FANGLIA BRANDED / BRANDED BRANDED
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- 20. FANGLIA BRANDED / BRANDED BRANDED

Project Views



JW MARRIOTT HOTEL/ CONVENTION & RESIDENCES

150 LAKE AVE
ORLANDO FLORIDA, 32801
PLAN UPDATE - 05.13.22
INDEX OF DRAWINGS

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MP2.0	CONCEPTUAL SITE PLAN	A2.3	WEST ELEVATION
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MP4.0	UTILITY PLAN	A3.2	3D VIEW
L1.00	CONCEPTUAL LANDSCAPE PLAN	A3.4	3D VIEW
L1.50	LANDSCAPE DETAILS	A3.5	3D VIEW
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		A3.9	3D VIEW
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A1.2	LEVELS 2 AND 3	A4.2	CONDO ENLARGED PLANS
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A1.5	LEVELS 8 AND 9		
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	LEVEL 11 HOTEL AND GARDEN	A6.2	SITE PHOTOS
A1.7	LEVEL 17 - HOTEL & MECHANICAL LEVEL		
A1.8	TYP. HOTEL AND CONDO		
A1.9	PENTHOUSE LEVELS		
A1.10	PENTHOUSE LEVELS		
A1.11	ROOF PLAN		
A1.12	SITE CIRCULATION		
A1.13	CONDO UNIT SUMMARY		
A1.14	HOTEL UNIT SUMMARY		



Building Sections and Information

ZONING INFORMATION

ZONING DISTRICT - AC-3A/T

DENSITY:

MAXIMUM FAR = 3.0
MAXIMUM FAR WITH BONUS PER 58.1101 = 8.0
*THE PROJECT WILL PURSUE THE FULL FAR BONUS

INTENSITY:
MAXIMUM UNITS/ACRE = 200

SITE AND BUILDING INFORMATION

TOTAL SITE AREA 65,955 SF = 1.51 ACRES
TOTAL AVAILABLE FAR 527,640 SF [SITE AREA X 8]
TOTAL PROJECT AREA 906,271 SF
TOTAL PROJECT FAR 527,575 SF [DOES NOT INCLUDE PARKING OR CONVENTION]

PERVIOUS AREA REQUIRED AREA = 65,955 SF X 5% = 3,297 SF
AVAILABLE PERVIOUS AREA ON THE GROUND FLOOR = 2,979 SF
MINIMUM GREEN ROOF AREA PROVIDED = 1,987 SF

TOTAL HOTEL AREA 155,628 SF
OF FLOORS 7
OF KEYS 231
K 146
QQ 72
SUITES 13

HOTEL GYM AREA 2006 SF

TOTAL CONDO AREA 332,523 SF [INCLUDES CONDO LOBBY]

TOTAL SELLABLE CONDO CURRENT: 272,796 NSF

OF FLOORS 16 FLOORS
TOTAL STORAGE AREA 0 NSF

TOTAL # OF DWELLING UNITS 300 [1.5 ACRES X 200 UNITS/ACRE]
ALLOWABLE UNITS

OF 3 BED 69
OF 2 BED 18
OF 1 BED 0
OF 3 BED PENTHOUSE 15
OF 3 BED WITH DEN PENT. 9
2 LEVEL PENTHOUSE 1
3 LEVEL PENTHOUSE 1

CONDO GYM AREA 1,303 SF

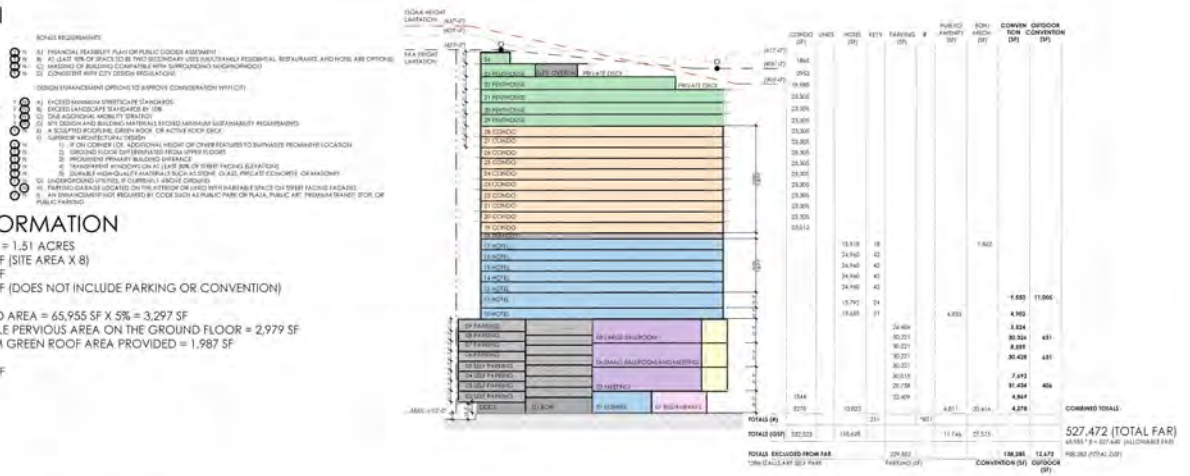
PARKING INFORMATION

PARKING REQUIREMENTS:

RESIDENTIAL: [2BED] 1.75 PER DWELLING UNIT X 18 UNITS = 32
[3BED] 2 PER DWELLING UNIT X 95 UNITS = 190
HOTELS: 0.35 PER LODGING UNIT X 234 UNITS = 82
OTHER USES: 1 PER 1000 GFA 168,353 GFA = 169

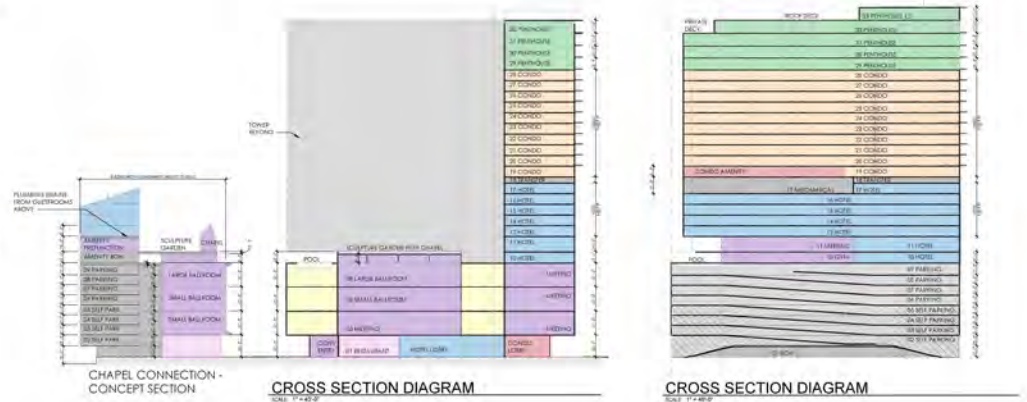
TOTAL 473
EXEMPT: EATING AND DRINKING ESTABLISHMENTS: 21,966 SF

PARKING PROVIDED:
TOTAL PARKING AREA 229,552 SF
SELF PARK SPACES 286
VALET SPACES 535
TOTAL # OF SPACES 821



BUILDING SECTION

SCALE: 1"=4'-0"



Ground Level



Levels 2-3



LEVEL 02 - PARKING

SCALE: 1/8" = 1'-0"



LEVEL 03 - PARKING

SCALE: 1/8" = 1'-0"

Levels 4 and 5



LEVEL 04 - PARKING

SCALE: 1/8" = 1'-0"



LEVEL 05 - PARKING

SCALE: 1/8" = 1'-0"

Levels 6-7



LEVEL 06 - SMALL BALLROOM

SCALE: 1/8" = 1'-0"



LEVEL 07 - PARKING & OPEN TO BELOW

SCALE: 1/8" = 1'-0"

Levels 8-9



LEVEL 08 - LARGE BALLROOM

SQA: 10/17/19



LEVEL 09 - PARKING & OPEN TO BELOW

SQA: 10/17/19

Levels 10-11



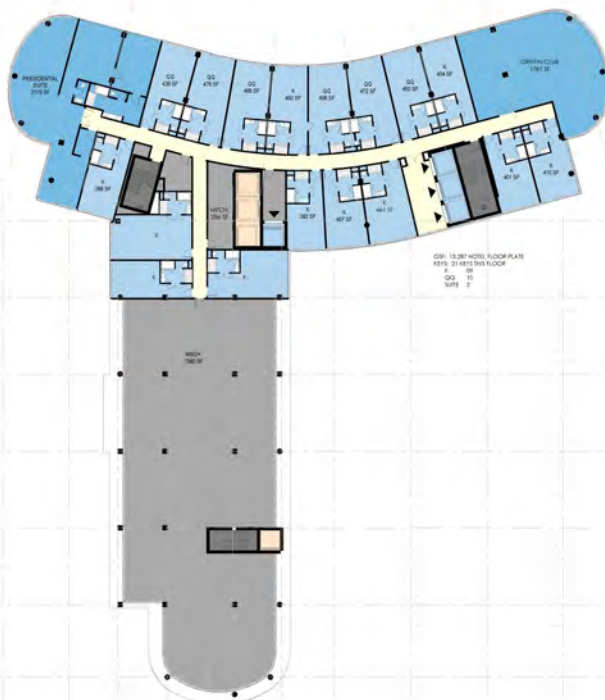
LEVEL 10 - GYM AND ROOF DECK
SCALE: 1/16" = 1'-0"



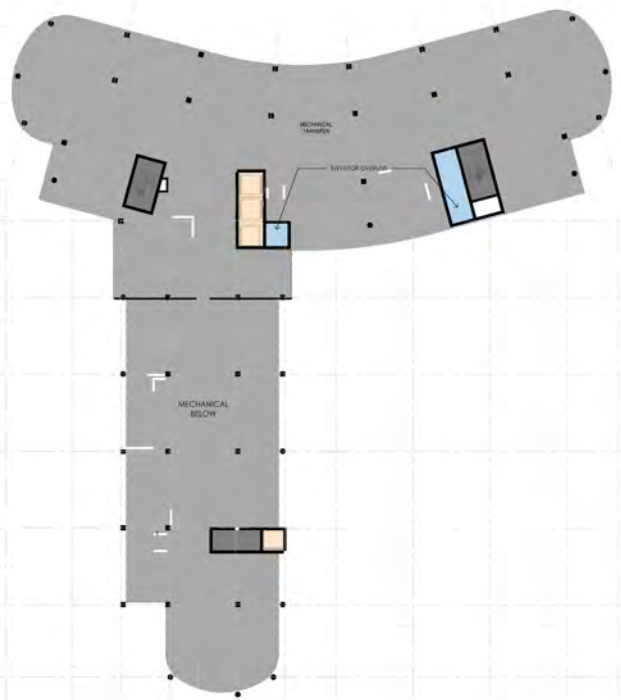
LEVEL 11 - HOTEL AND ART SPACE

LEVELS 19 TO 28 -TYP. CONDO PLAN

Levels 17-18

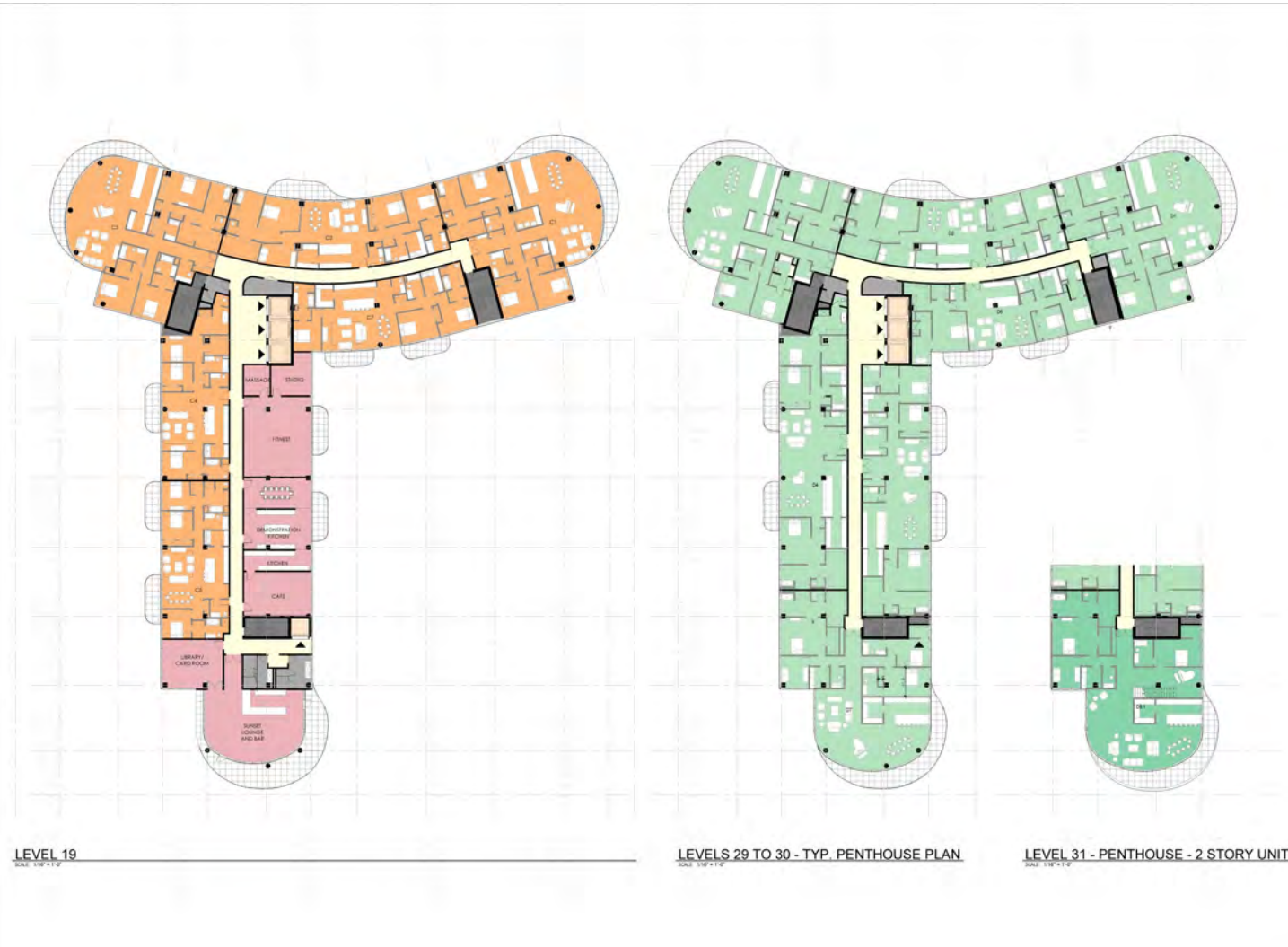


LEVEL 17 - HOTEL AND MECHANICAL
SCALE: 1/8" = 1'-0"

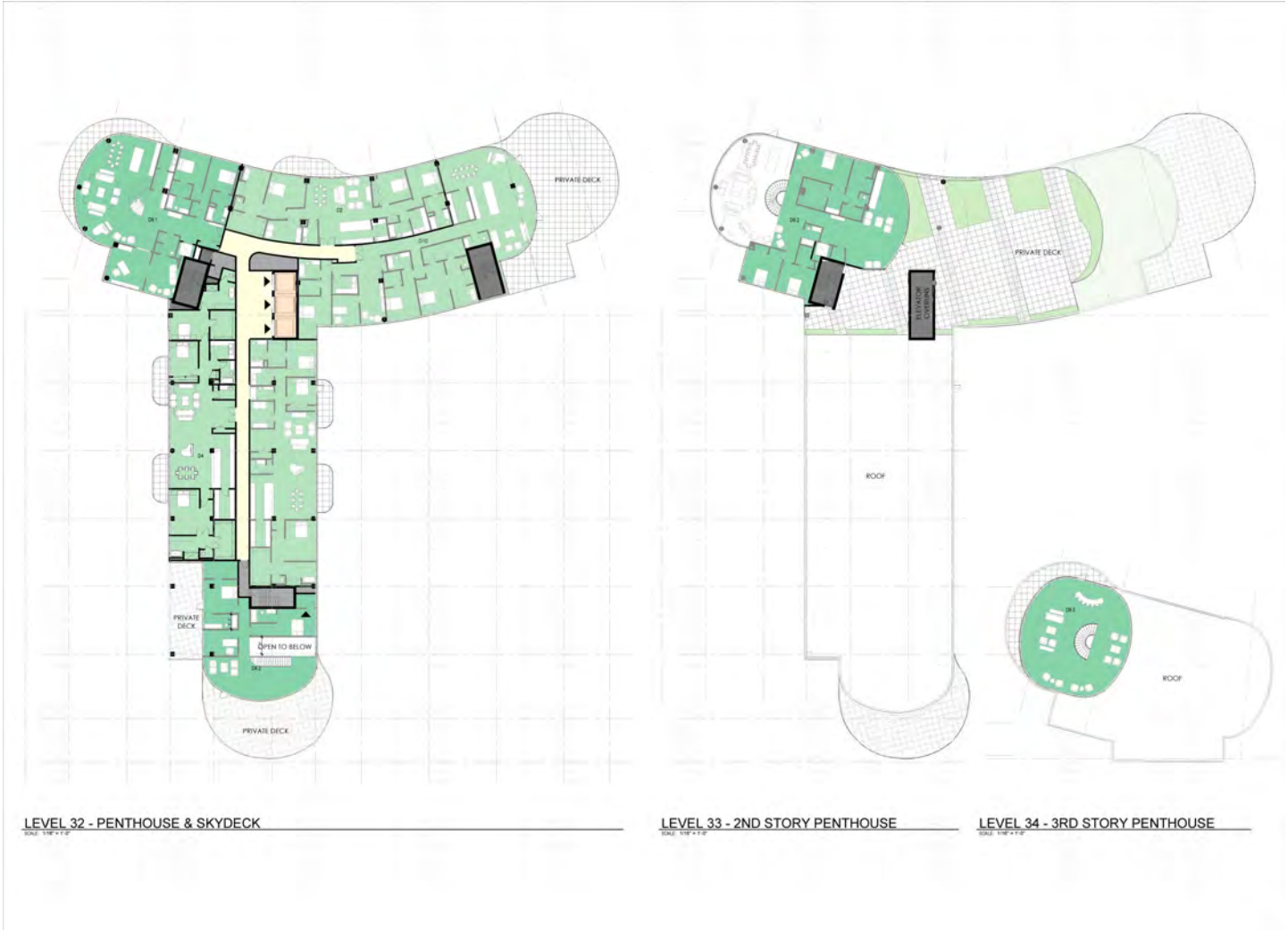


LEVEL 18 - MECHANICAL TRANSFER
SCALE: 1/8" = 1'-0"

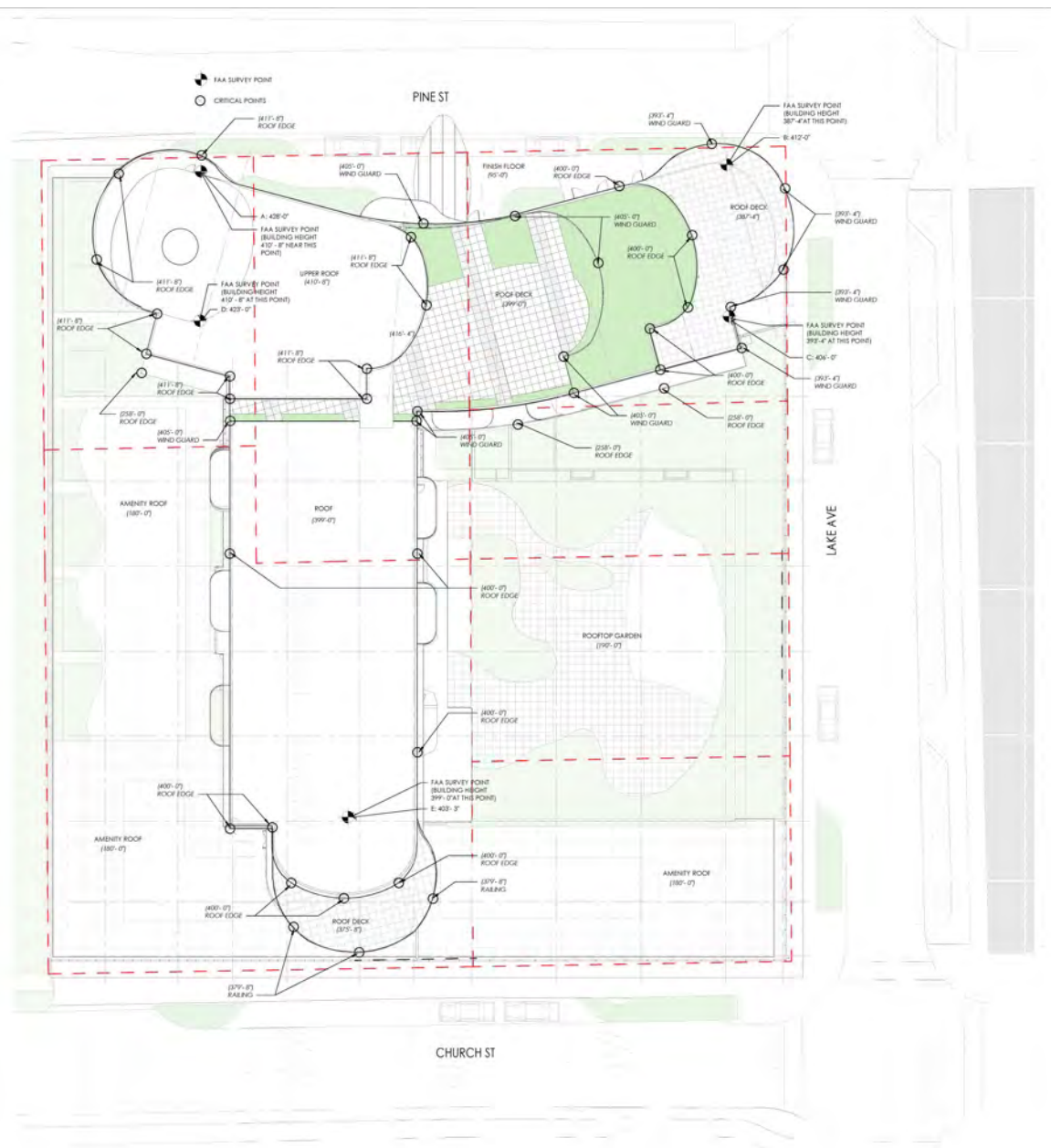
Level 19, Levels 29-31



Levels 32-34



Roof Plan



ROOF PLAN
SCALE: 1/16" = 1'-0"

Hotel Unit Plans and Summary



LEVEL 10
SCALE: 1/8" = 1'-0"



LEVEL 11
SCALE: 1/8" = 1'-0"



TYP. LEVEL 12-16
SCALE: 1/8" = 1'-0"



LEVEL 17
SCALE: 1/8" = 1'-0"

GUESTROOM MATRIX					
LEVEL	KING	QD	QKTS	ALL KITS	CONNECT
LEVEL 10	10	9	2	27	.5
LEVEL 11	13	9	2	24	.5
LEVEL 12	28	12	2	42	.5
LEVEL 14	28	13	2	43	.5
LEVEL 15	28	12	2	42	.5
LEVEL 16	28	12	2	42	.5
LEVEL 17	11	9	1	21	.5
TOTAL	148	79	13	251	2.5
% OF TOTAL	49%	25%	4%	100%	13%



TYPICAL GUESTROOM - QQ
SCALE: 1/8" = 1'-0"

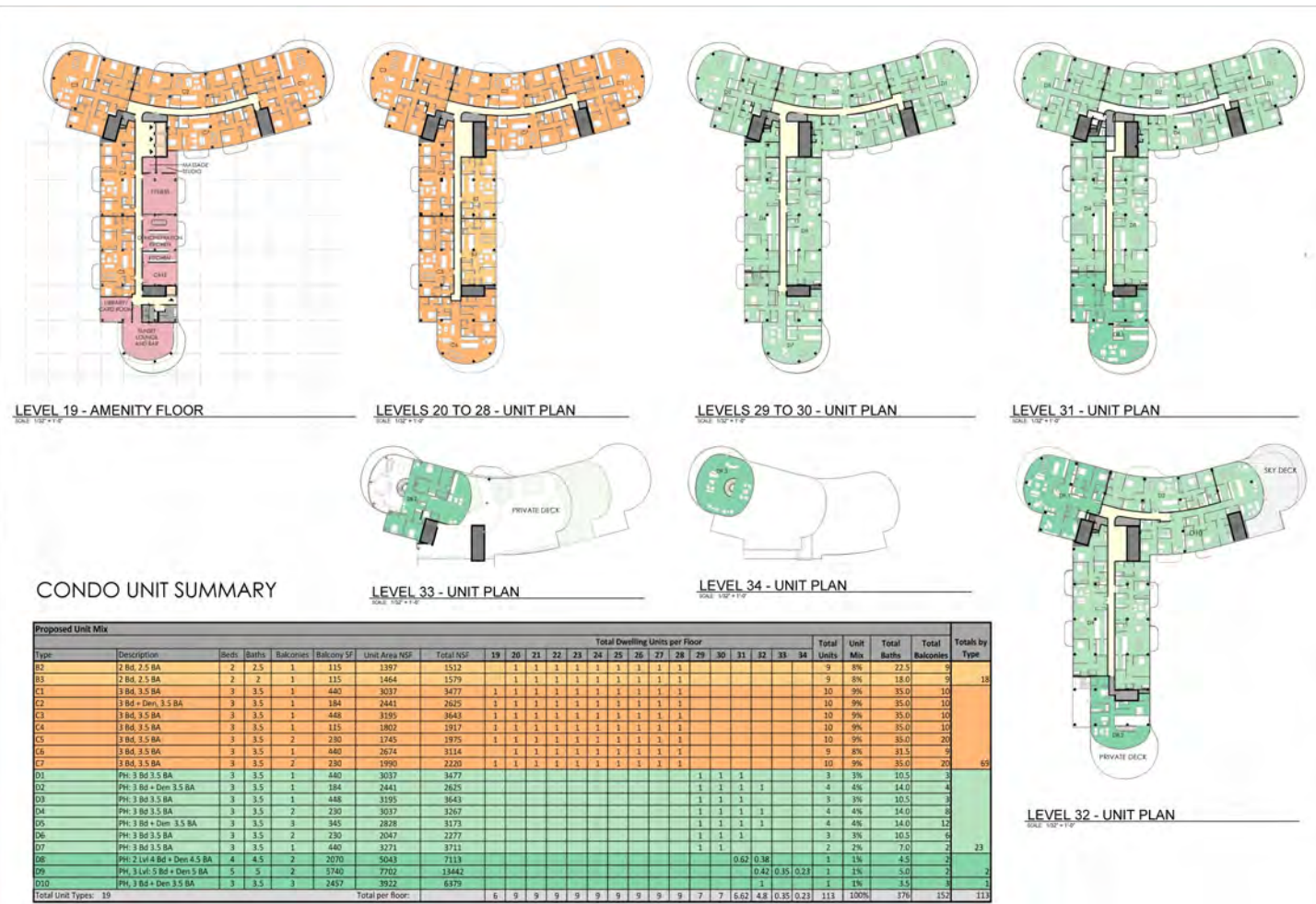


TYPICAL GUESTROOM - KING
SCALE: 1/8" = 1'-0"

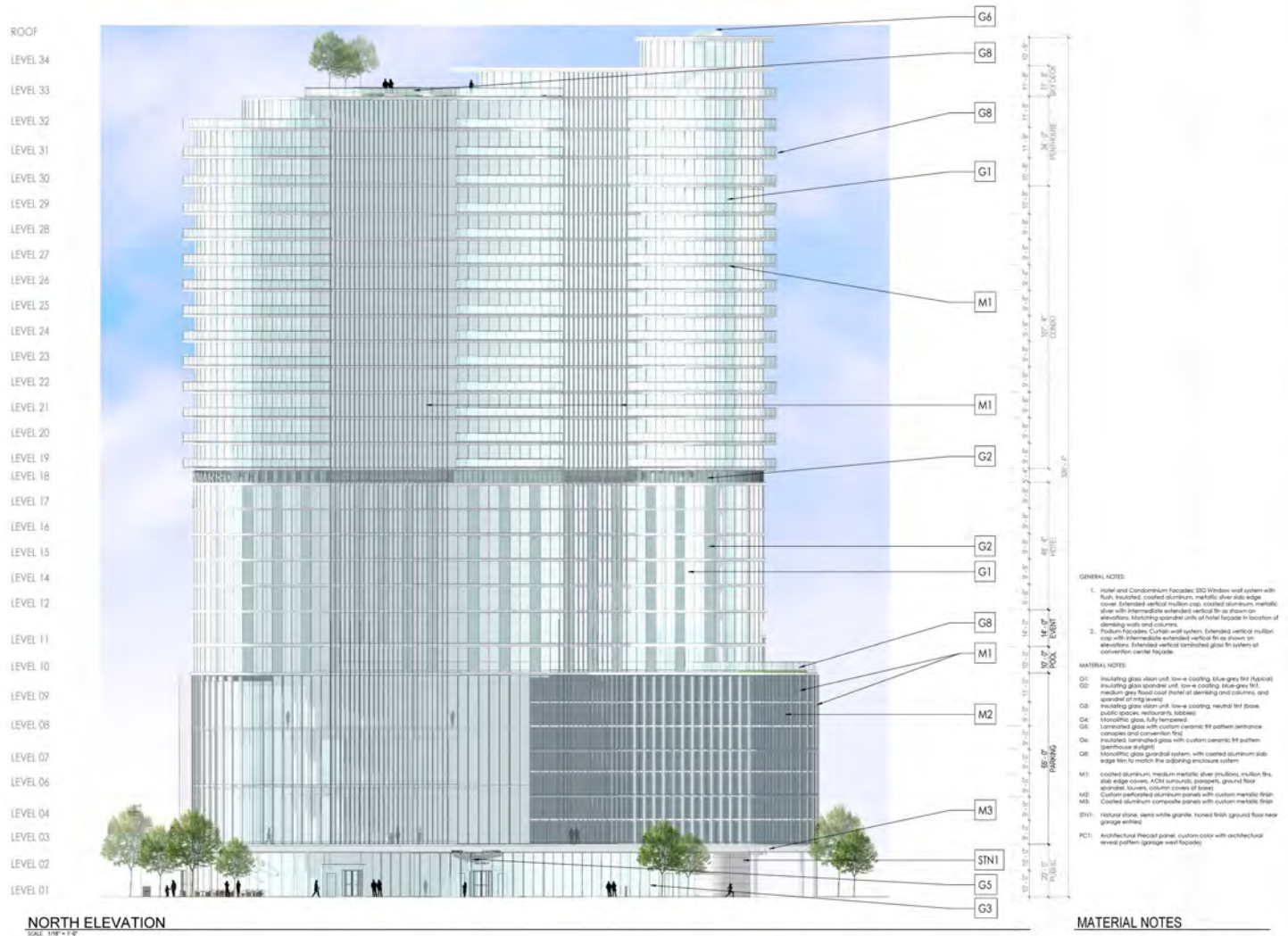


TYPICAL GUESTROOM - SUITE
SCALE: 1/8" = 1'-0"

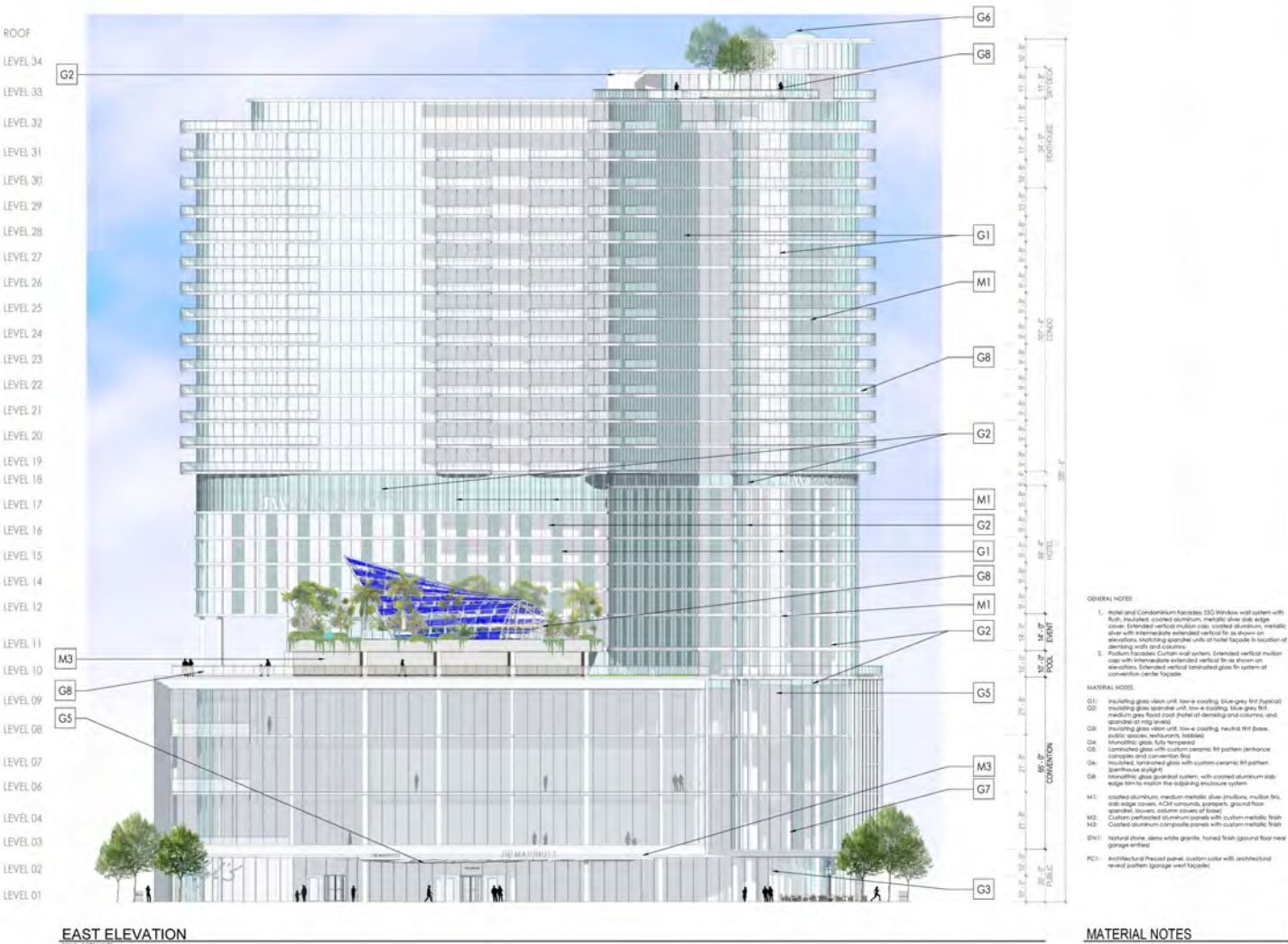
Residential Unit Plans and Summary



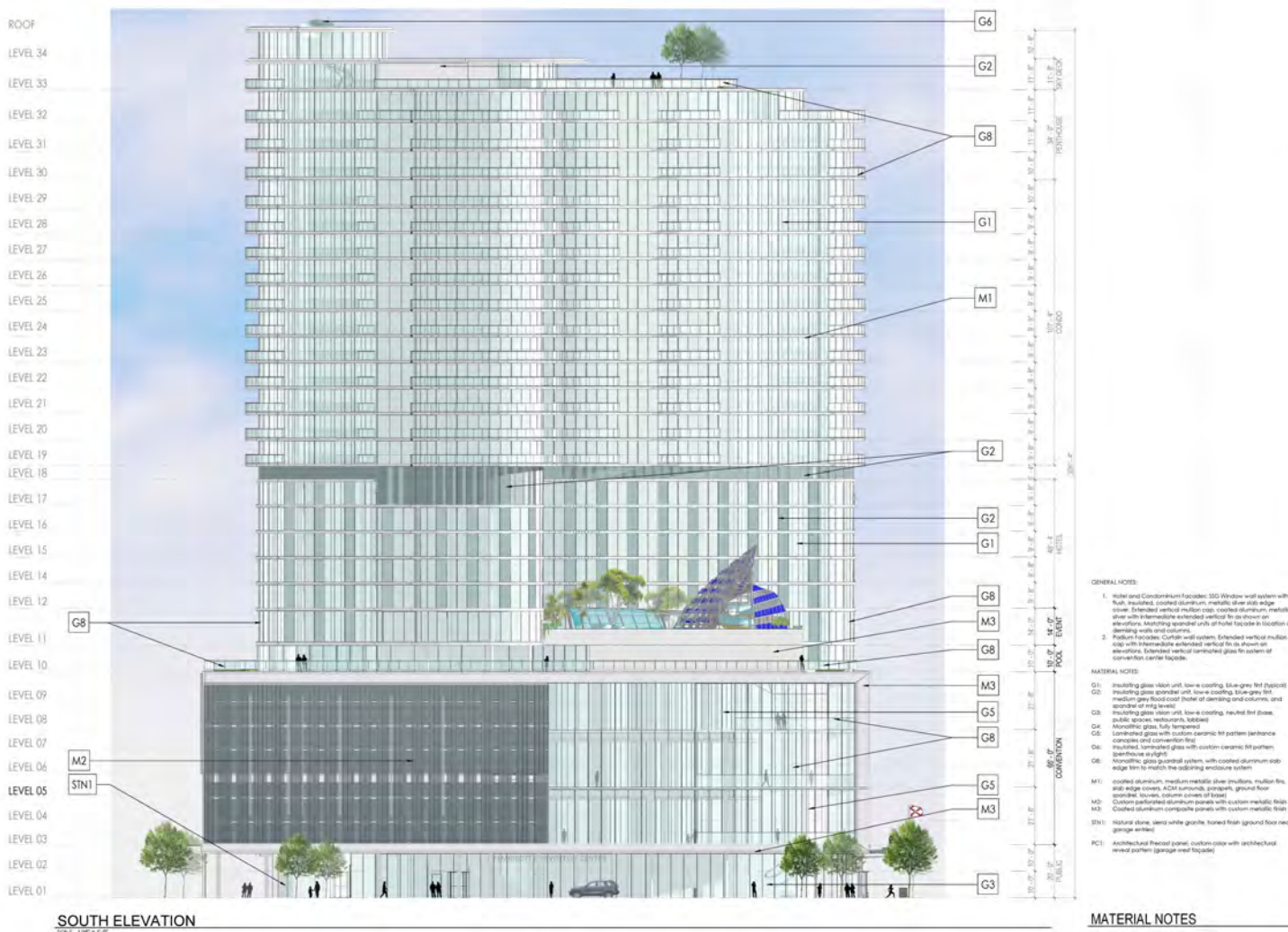
North Elevation-Pine Street



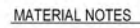
East Elevation-Lake Avenue



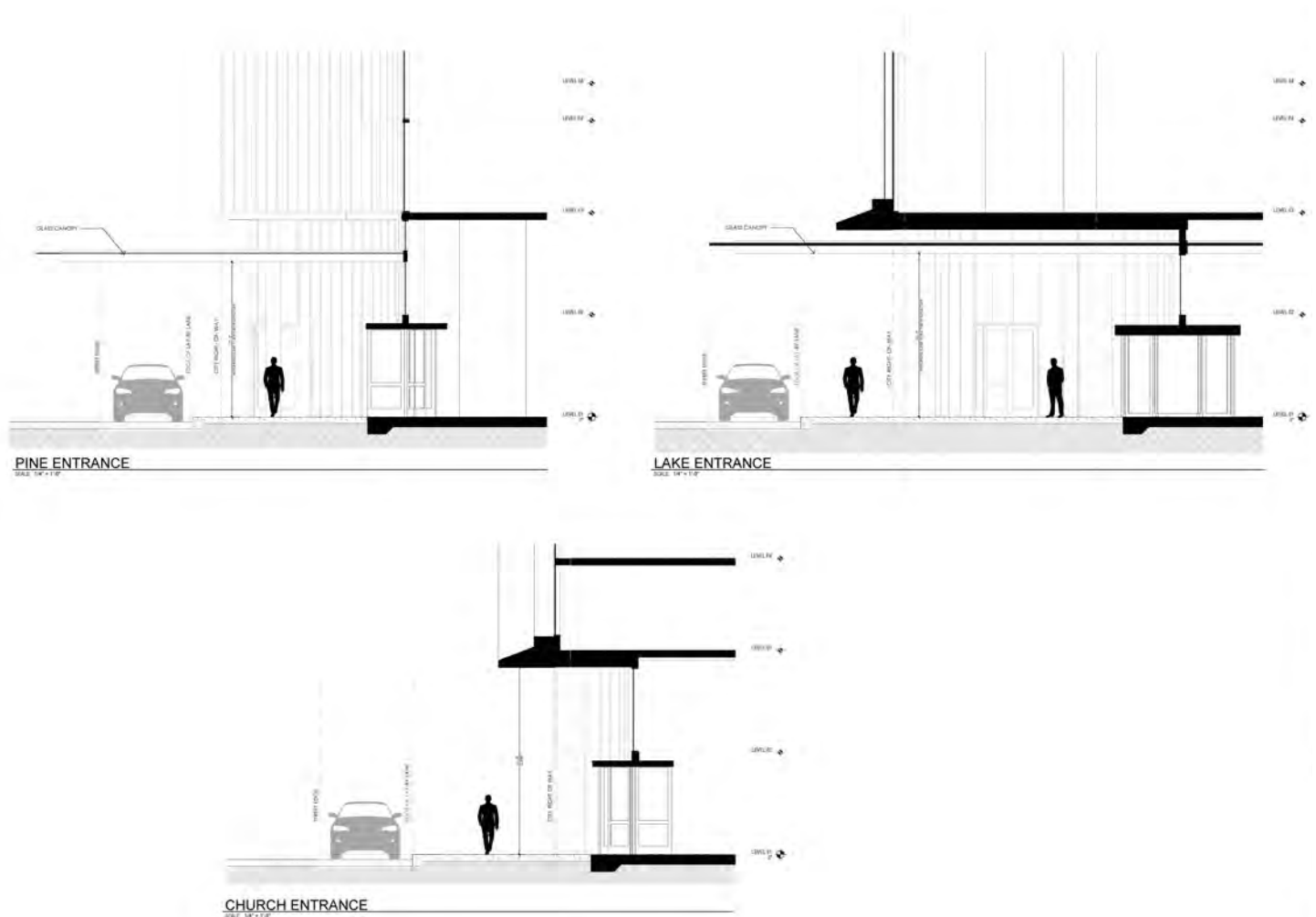
South Elevation-Church Street



WEST ELEVATION



Entry Sections



Aerial Renderings



ARIEL VIEW

View of Corner of Lake and Pine



OVERALL VIEWS

View Looking East on Pine



Street View of North and South Entrances



CONDO ENTRANCE



CONVENTION CENTER

Hotel Entrance



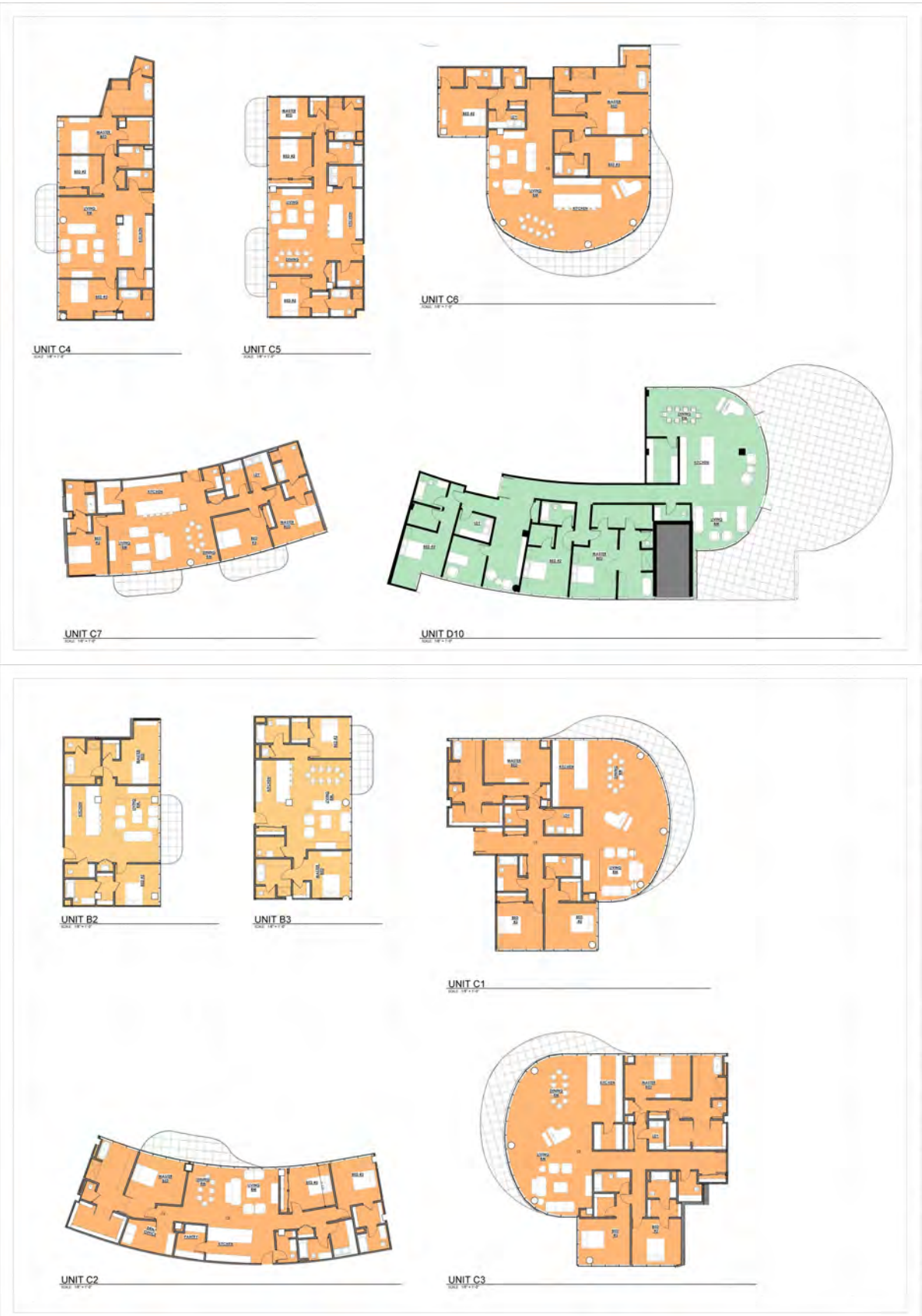
HOTEL ENTRANCE

Hotel Lobby

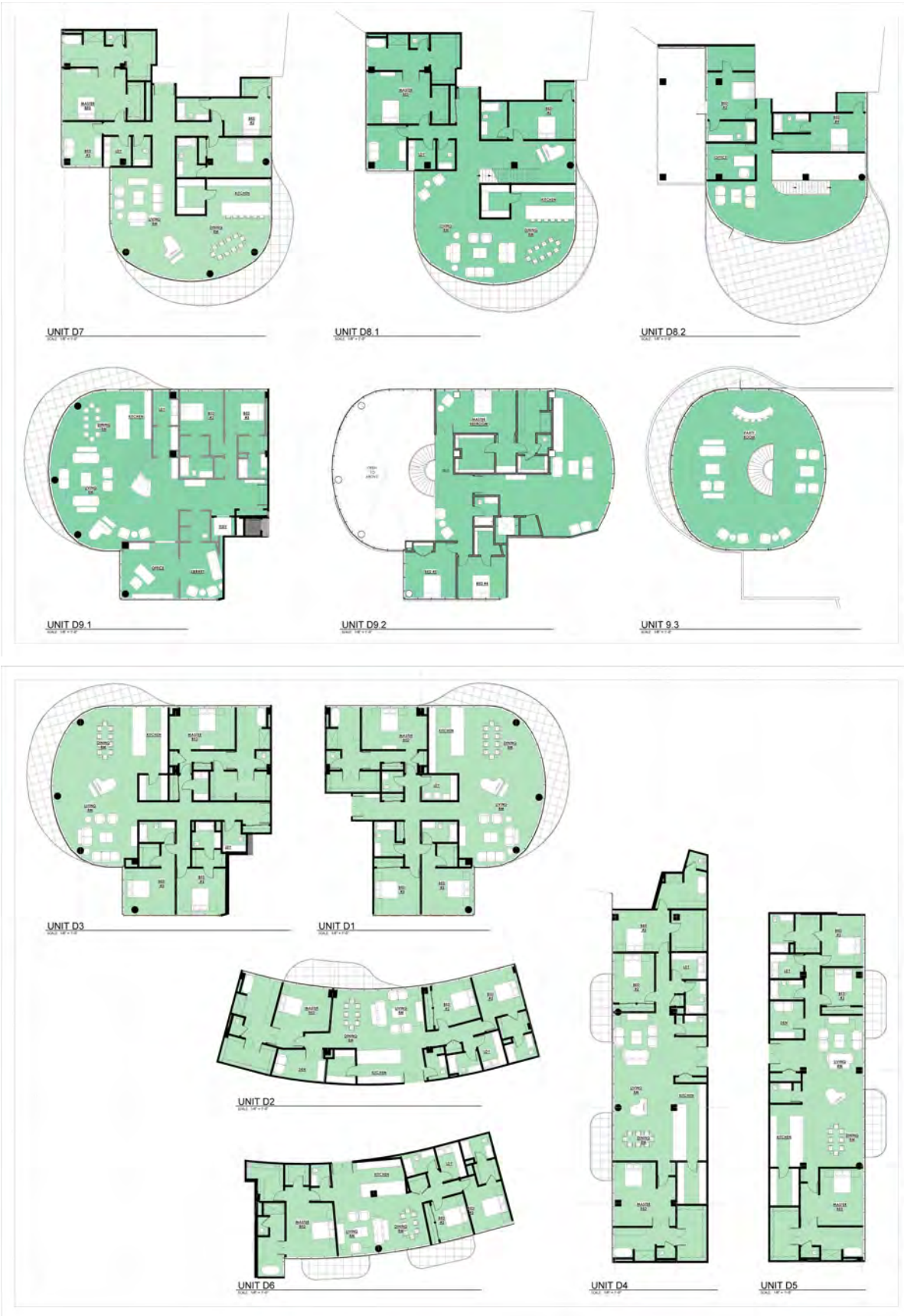


HOTEL LOBBY

Unit Plans-Enlarged



Unit Plans-Enlarged



G1-INSULATING GLASS VISION UNIT
BOD - VIRACON VE1-53 IGU



G5 - LAMINATED GLASS WITH CERAMIC FRIT
BOD - VIRACON CLEAR GLASS WITH HIGH-
OPACITY WHITE SILK-SCREEN #5006 1/8" DOTS



G2-INSULATING GLASS SPANDREL UNIT
BOD - VIRACON VE 1-53 IGU - SPANDREL ON
INTERIOR SURFACE



G1 & G2 (G2 WILL HAVE SPANDREL ON INTERIOR SURFACE)



G3



G3-INSULATING GLASS VISION UNIT -
GROUND FLOOR
BOD - VIRACON VE1-2M IGU



M1 - COATED ALUMINUM
EXTRUSIONS
BOD - KYNAR SILVERSMITH



M3 - COATED ALUMINUM COMPOSITE PANELS
BOD - ALUCOBOND ACM WITH KYNAR SILVERSMITH



G5 & G6 (G6 WILL BE IGU)



G8



G8-MONOLITHIC GLASS GUARDRAIL SYSTEM
BOD - VIRACON CLEAR LAMINATED GLASS



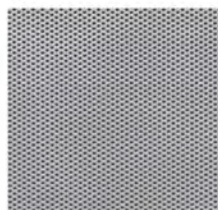
M1 - COATED ALUMINUM
EXTRUSIONS
BOD - KYNAR SILVERSMITH



M3 - COATED ALUMINUM COMPOSITE PANELS
BOD - ALUCOBOND ACM WITH KYNAR SILVERSMITH



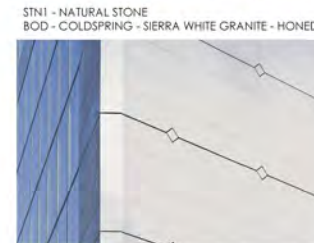
M1 & M3



M2



M2 - PERFORATED ALUMINUM PANELS
BOD MCNICHOLS PERFORATED ALUMINUM 1/16"
ROUND ON 3/32" STAGGERED CENTERS



STN1 - NATURAL STONE
BOD - COLDSRING - SIERRA WHITE GRANITE - HONED



STN1

PCI



PCI - ARCHITECTURAL PRECAST PANEL
BOD - CUSTOM COLOR & FINISH TO BE
COORDINATED WITH SUPPLIER

GENERAL NOTES:

3. Hotel and Condominium Facades: 150 Window wall system with flush insulated, coated aluminum, metallic silver slat edge cover. Extended vertical mullion cap, coated aluminum, metallic silver with intermediate extended vertical fin as shown on elevations. Matching spandrel units of hotel facade in location of demising walls and columns.
2. Padom Facades: Curtain wall system. Extended vertical mullion cap with intermediate extended vertical fin as shown on

MATERIAL NOTES:

- | | |
|-----|---|
| G1: | medium grey color, ultra-lean coating, blue-grey glaze (light tropical) |
| G2: | medium grey (sanded) ultra-lean coating, blue-grey glaze, fine medium grey food coat (hole of draining and coating, and coating in spray) |
| G3: | medium grey color, ultra-lean coating, neutral for base, public space, restaurants, schools |
| G4: | Aluminum glaze, full texture |
| G5: | Laminated glaze with custom ceramic full pattern performance |
| G6: | Aluminum and ceramic |
| G7: | medium, laminated glaze with custom ceramic full pattern performance |
| G8: | Aluminum, glaze, sanded system, with coated aluminum (edge trim) to match the adjoining enclosure system |
| A1: | coated aluminum, medium metallic blue (industrial, medium fire, slab edge corner, ACM, stainless, panels, ground floor) |
| A2: | coated aluminum, medium metallic blue (industrial, medium fire, slab edge corner, ACM, stainless, panels, ground floor) |
| A3: | Coated perforated aluminum panels with custom metallic finish |
| A4: | Coated aluminum composite panels with custom metallic finish |
| N1: | "natural stone, silver white granite, honed finish (ground floor near garage entry) |
| P1: | Architectural precast panel, custom color and architectural |

MATERIAL NOTES

MATERIAL
SCALE: 1/8" = 1'-0"

Site Photos



1)



2)



3)



4)



5)



6)



VICINITY MAP